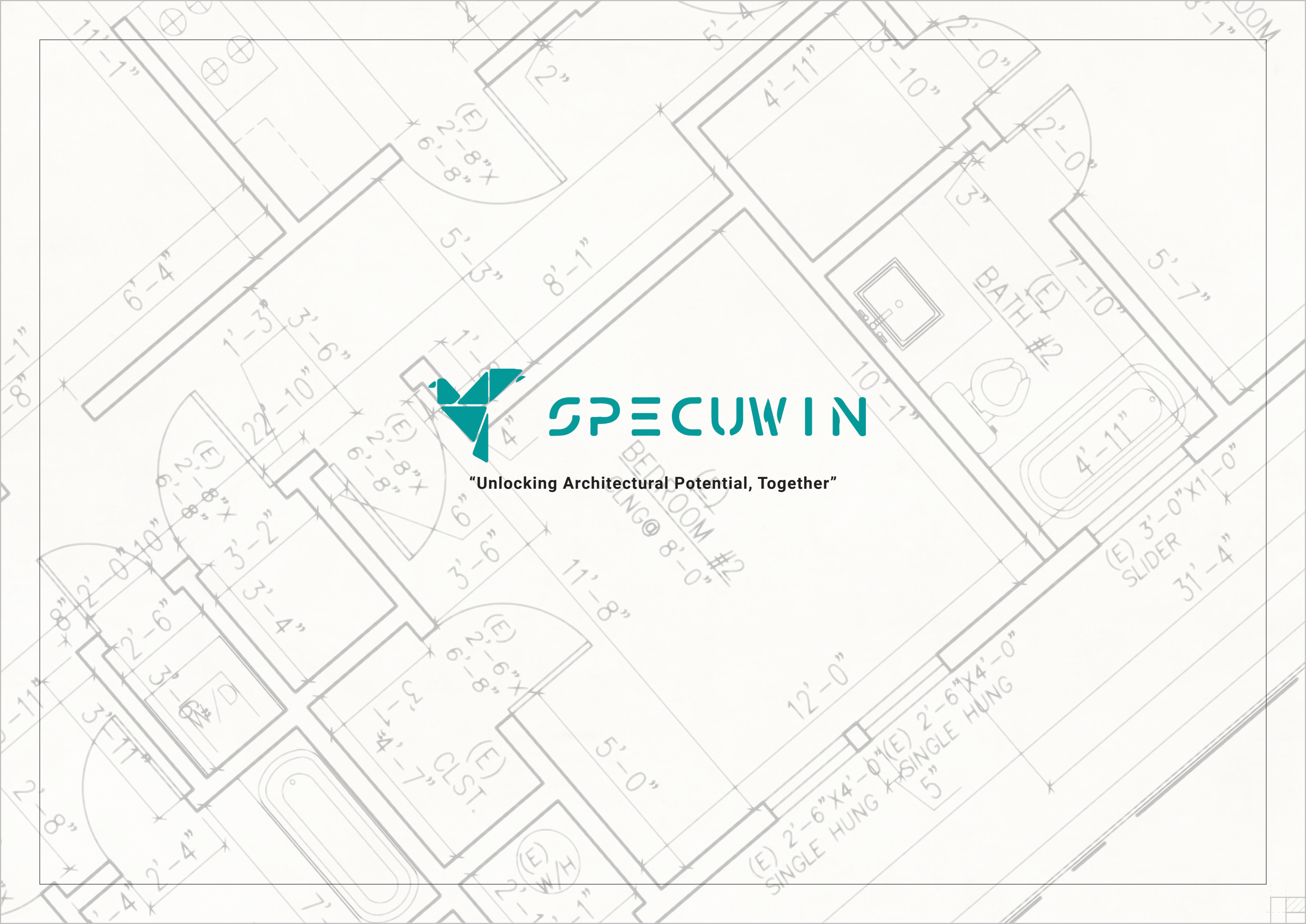




SPECUWIN

"Unlocking Architectural Potential, Together"





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SERVICES**

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1

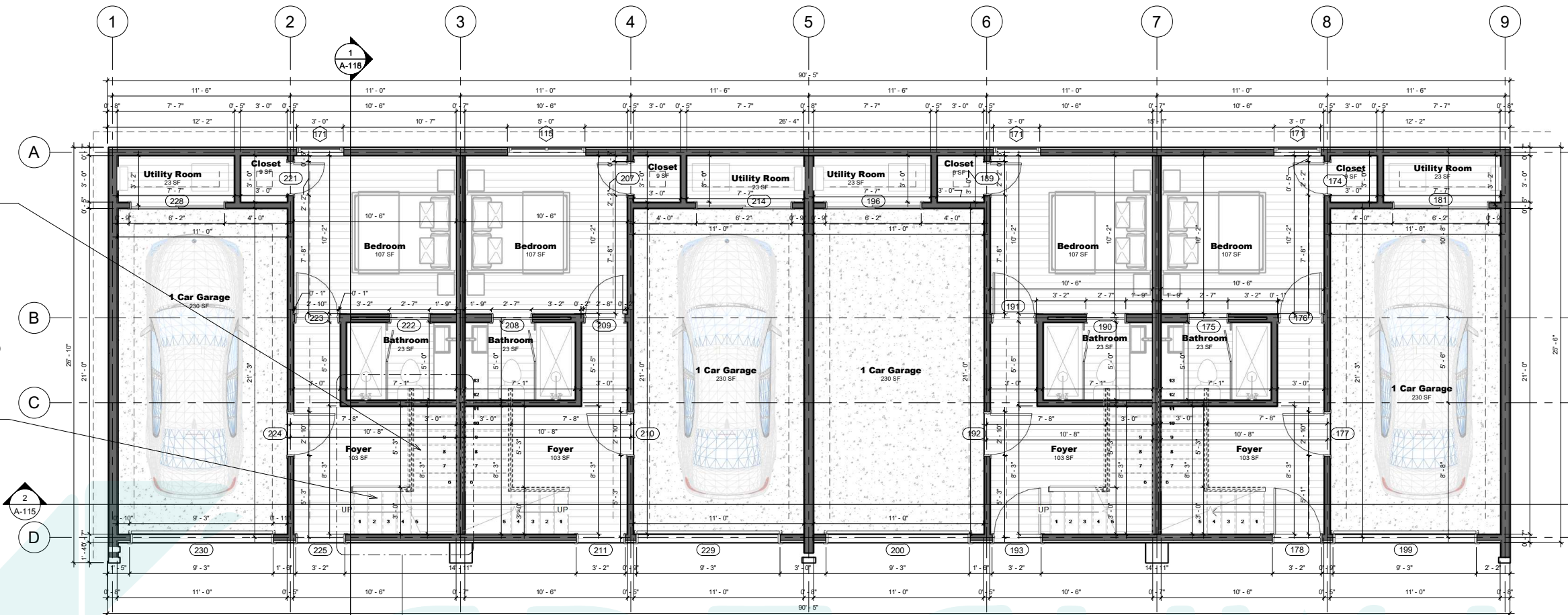
Project	- West Lake Apartment
Location	- Atlanta, Georgia
Software	- Revit
Scope of Work	- Construction Document Set



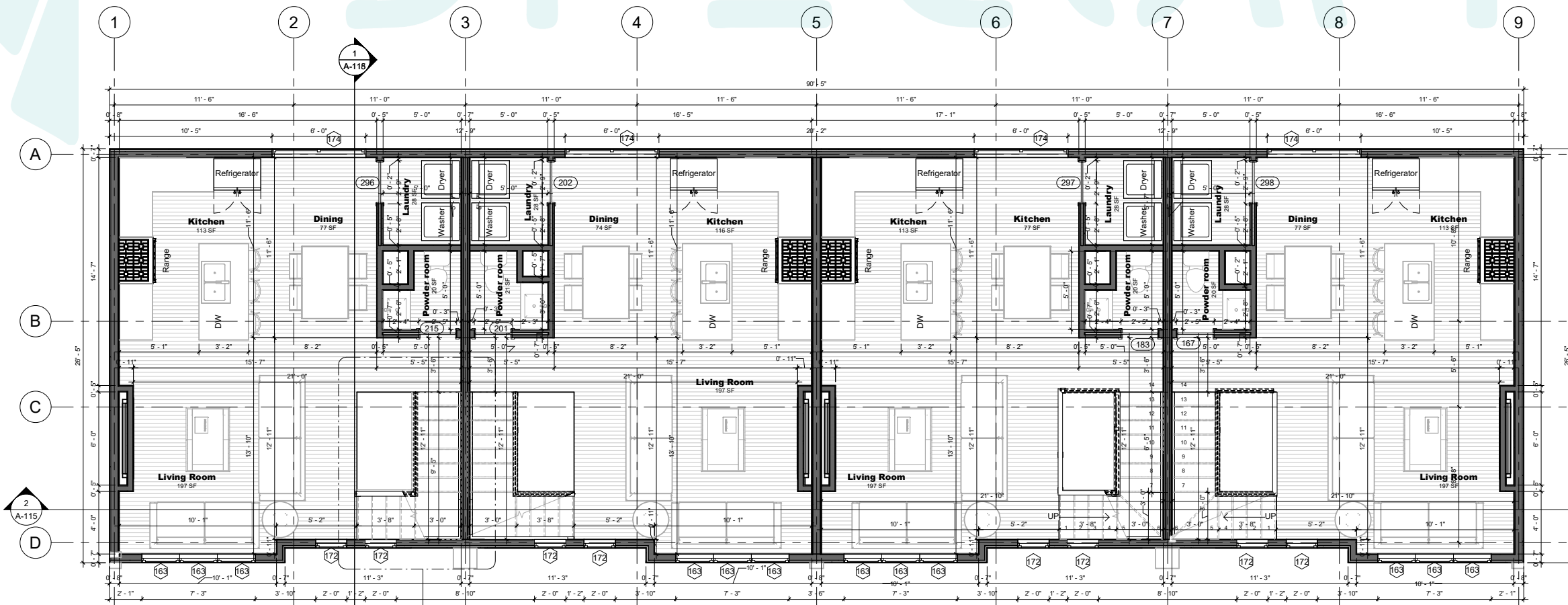
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PROVIDE 42" HIGH GUARD RAIL
MAXIMUM CLEAR SPACING BETWEEN RAIL

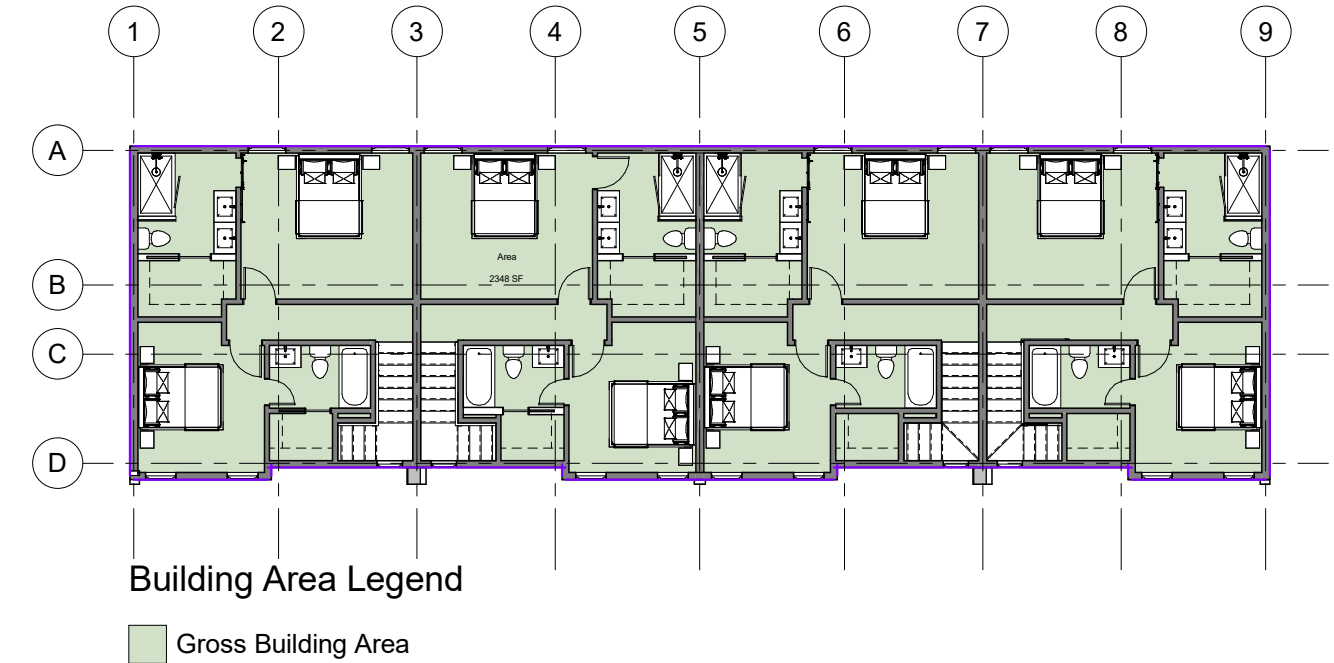
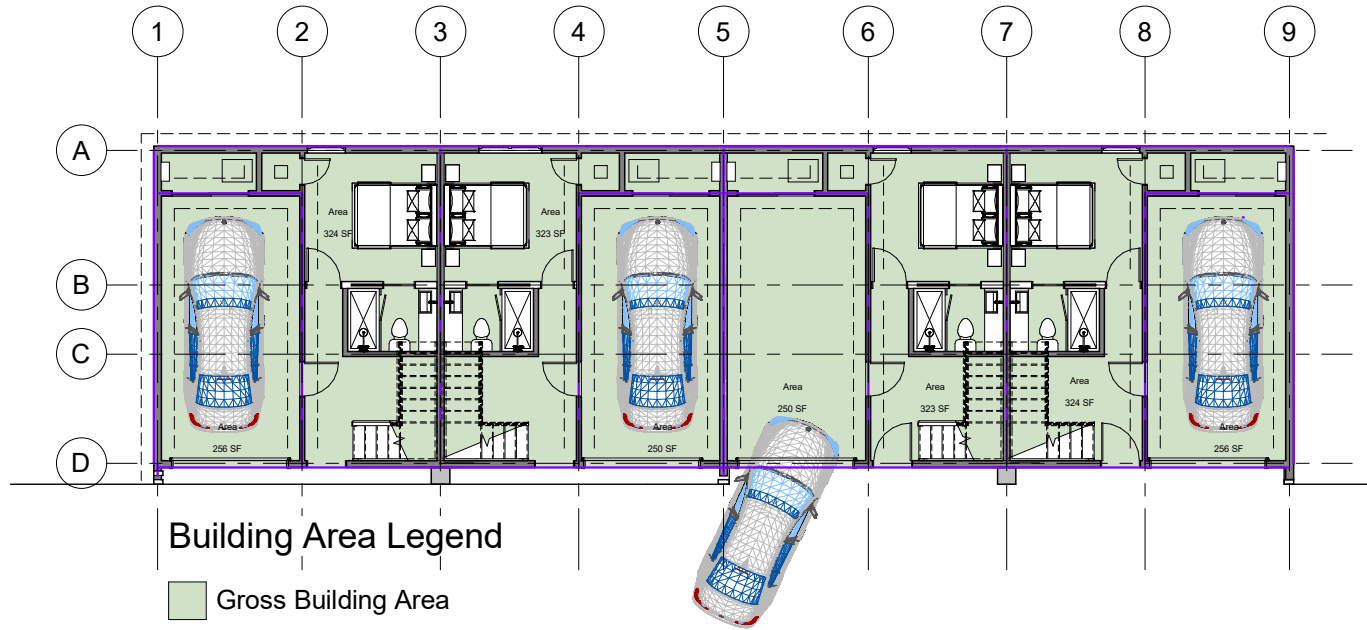
ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SURFACE AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD



1 Proposed 1st Floor
1/4" = 1'-0"



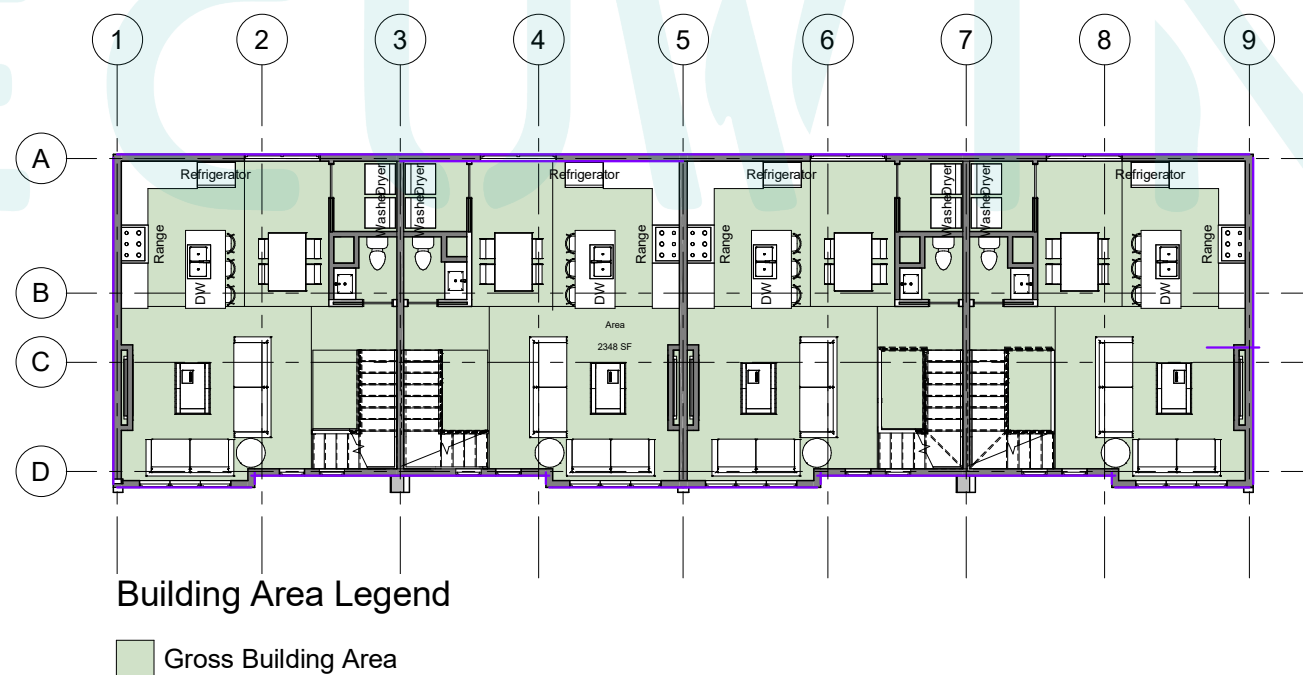
2 Proposed 2nd Floor
1/4" = 1'-0"



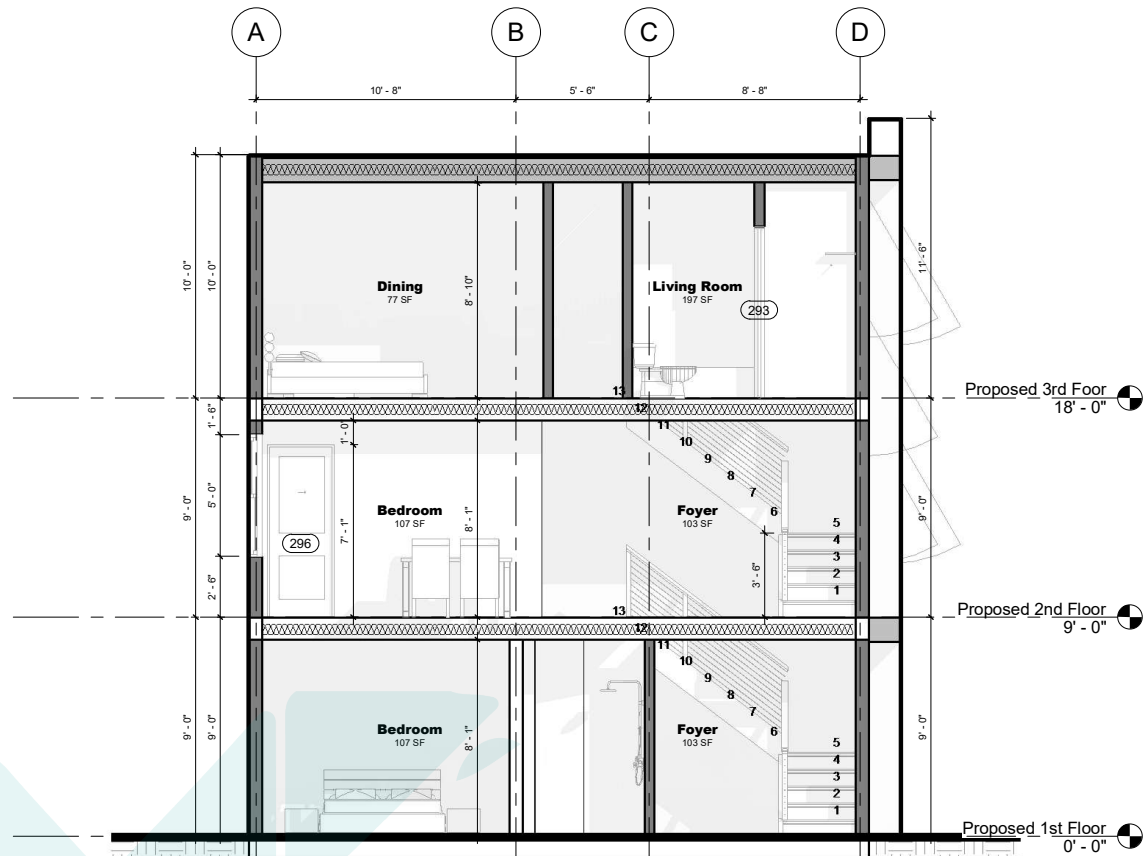
① Proposed 1st Floor
1/8" = 1'-0"

② Proposed 3rd Floor
1/8" = 1'-0"

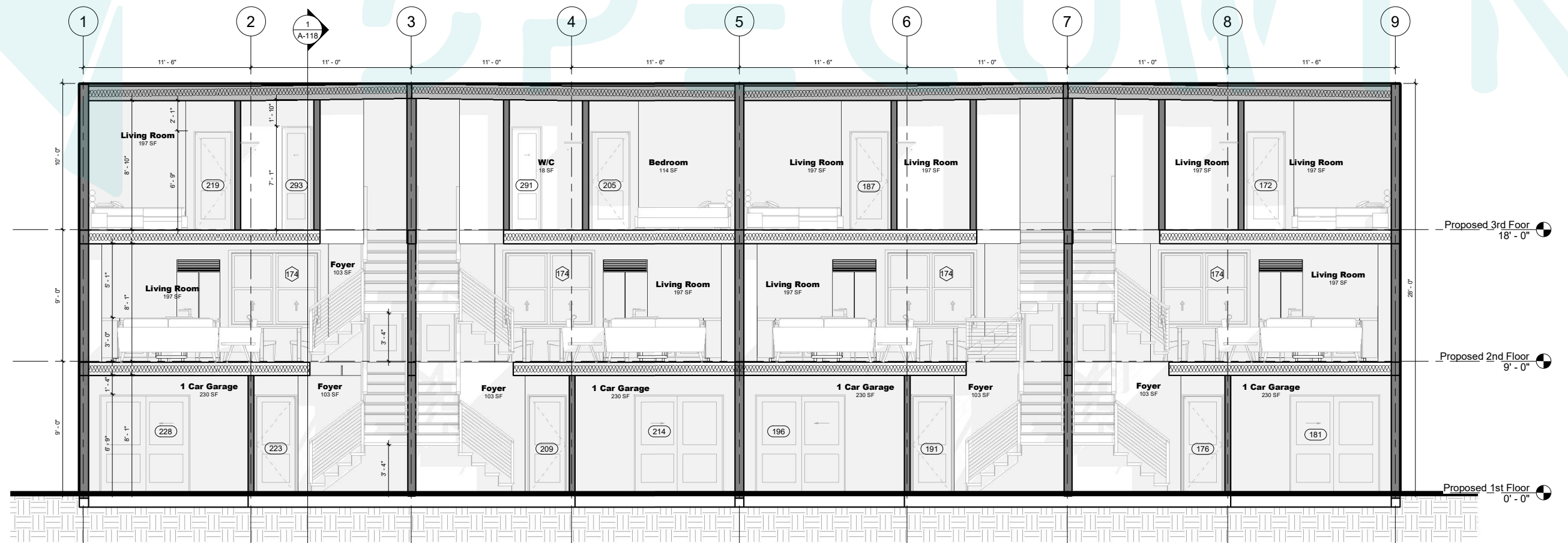
Room Schedule			
Name	Area	Perimeter	Level
Proposed 1st Floor			
Bedroom	107 SF	41'-4 3/4"	Proposed 1st Floor
1 Car Garage	230 SF	63'-11 3/32"	Proposed 1st Floor
Foyer	103 SF	48'-4"	Proposed 1st Floor
Bathroom	23 SF	19'-2 11/16"	Proposed 1st Floor
Closet	9 SF	12'-0 1/4"	Proposed 1st Floor
Utility Room	23 SF	21'-1 3/32"	Proposed 1st Floor
Bedroom	107 SF	41'-4 3/4"	Proposed 1st Floor
Utility Room	23 SF	21'-1 3/32"	Proposed 1st Floor
Closet	9 SF	12'-0 1/4"	Proposed 1st Floor
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Utility Room	23 SF	21'-1 3/32"	Proposed 1st Floor
Bathroom	23 SF	19'-2 11/16"	Proposed 1st Floor
Proposed 2nd Floor			
Powder room	21 SF	19'-11 7/8"	Proposed 2nd Floor
Laundry	28 SF	21'-1 7/8"	Proposed 2nd Floor
Dining	74 SF	39'-10 5/8"	Proposed 2nd Floor
Kitchen	118 SF	43'-1 27/32"	Proposed 2nd Floor
Living Room	187 SF	89'-7 7/32"	Proposed 2nd Floor
Kitchen	3 SF	12'-1 1/4"	Proposed 2nd Floor
Kitchen	113 SF	42'-7 7/32"	Proposed 2nd Floor
Kitchen	113 SF	42'-7 7/32"	Proposed 2nd Floor
Kitchen	3 SF	12'-1 1/4"	Proposed 2nd Floor
Kitchen	3 SF	12'-1 1/4"	Proposed 2nd Floor
Dining	77 SF	38'-5 7/32"	Proposed 2nd Floor
Living Room	197 SF	89'-7 3/16"	Proposed 2nd Floor
Laundry	28 SF	21'-2"	Proposed 2nd Floor
Powder room	20 SF	20'-0"	Proposed 2nd Floor
Kitchen	77 SF	38'-5 11/32"	Proposed 2nd Floor
Living Room	197 SF	89'-7 1/16"	Proposed 2nd Floor
Powder room	20 SF	20'-0"	Proposed 2nd Floor
Powder room	20 SF	20'-0"	Proposed 2nd Floor
Living Room	197 SF	89'-7 1/16"	Proposed 2nd Floor
Dining	77 SF	38'-5 11/32"	Proposed 2nd Floor
Kitchen	113 SF	42'-7 7/32"	Proposed 2nd Floor
Laundry	28 SF	21'-2"	Proposed 2nd Floor
Laundry	28 SF	21'-2"	Proposed 2nd Floor
Proposed 3rd Floor			
Owner Suite	158 SF	67'-5 3/32"	Proposed 3rd Floor
Owner Bath	46 SF	31'-7 7/32"	Proposed 3rd Floor
Owner W/C	33 SF	24'-6 3/32"	Proposed 3rd Floor
Bedroom	114 SF	43'-11 27/32"	Proposed 3rd Floor
Bathroom	39 SF	25'-10 1/8"	Proposed 3rd Floor
W/C	19 SF	17'-6"	Proposed 3rd Floor
Bathroom	40 SF	26'-0"	Proposed 3rd Floor
W/C	19 SF	17'-6"	Proposed 3rd Floor
Bathroom	40 SF	26'-0"	Proposed 3rd Floor
W/C	19 SF	17'-6"	Proposed 3rd Floor
Owner Suite	158 SF	67'-5 3/32"	Proposed 3rd Floor
Owner Bath	46 SF	31'-7 7/32"	Proposed 3rd Floor
Owner W/C	33 SF	24'-6 3/32"	Proposed 3rd Floor
Bedroom	114 SF	43'-11 27/32"	Proposed 3rd Floor
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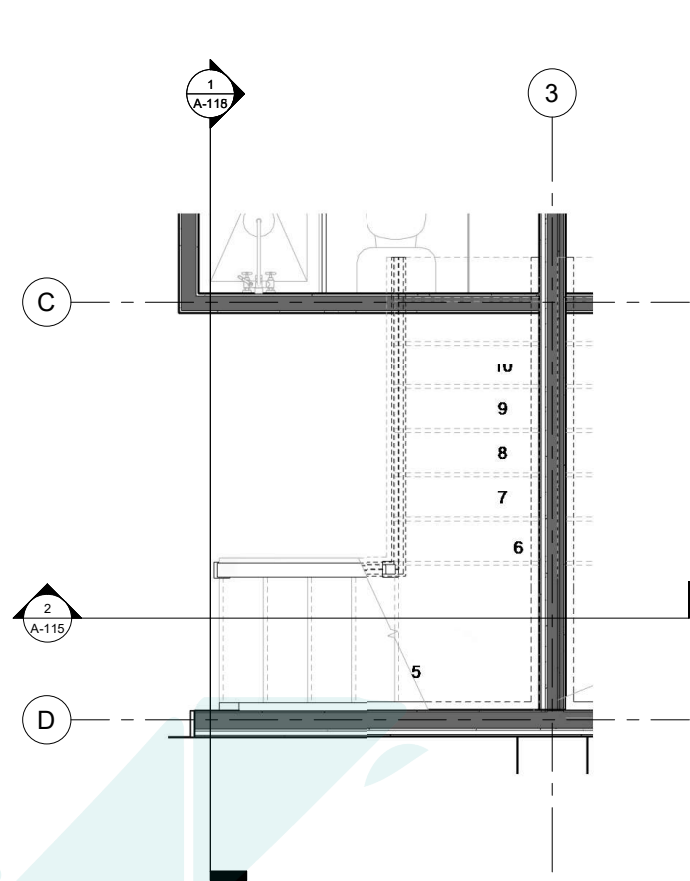
③ Proposed 2nd Floor
1/8" = 1'-0"



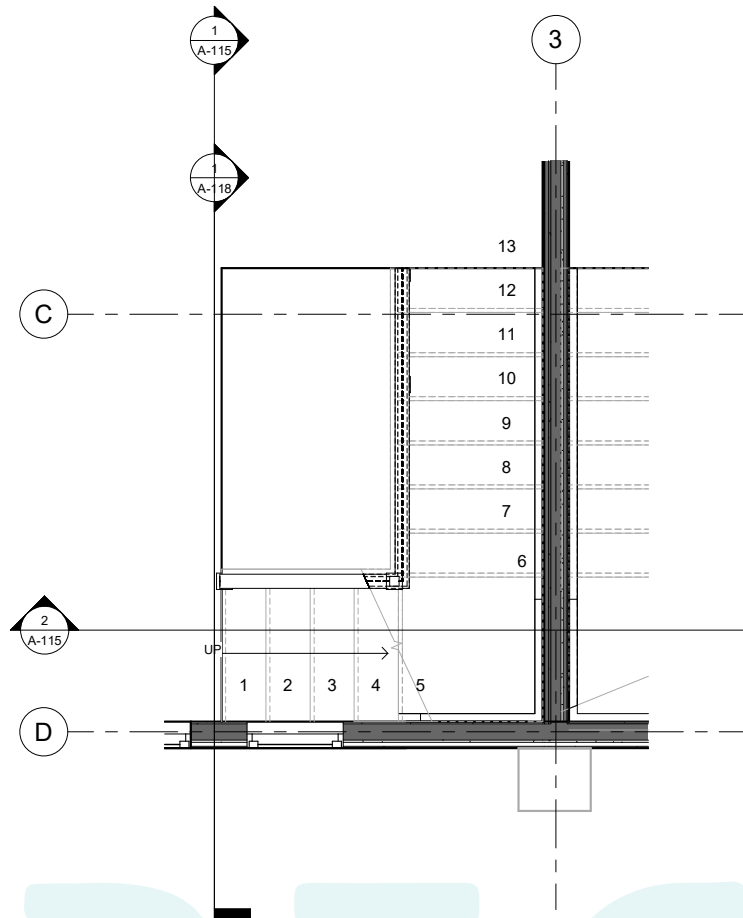
① Section 1
1/4" = 1'-0"



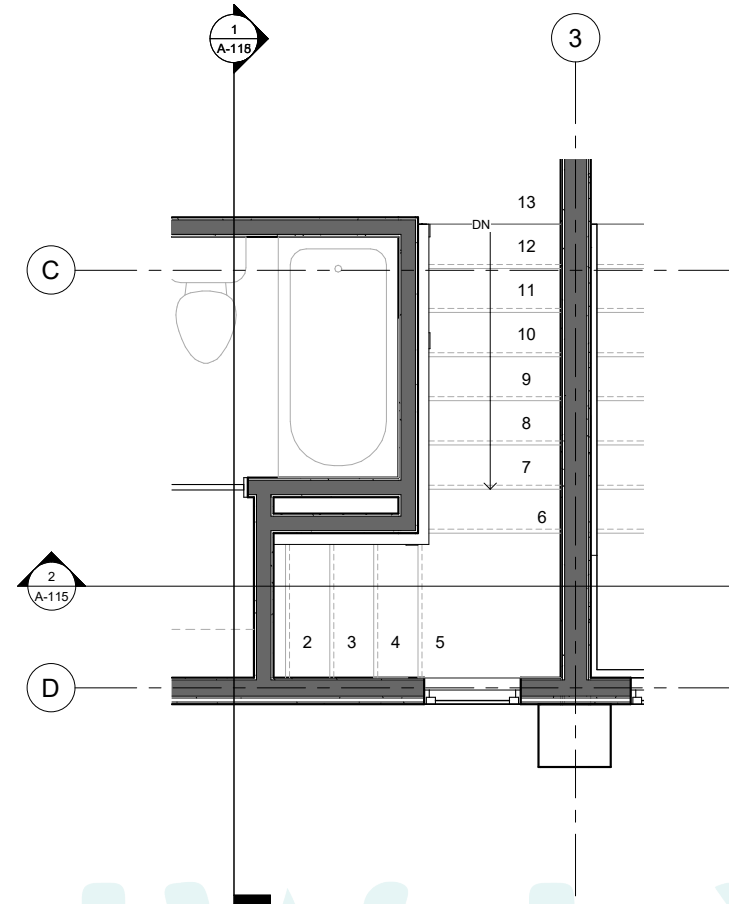
② Section 2
1/4" = 1'-0"



① Proposed 1st Floor - Callout 1
1/2" = 1'-0"

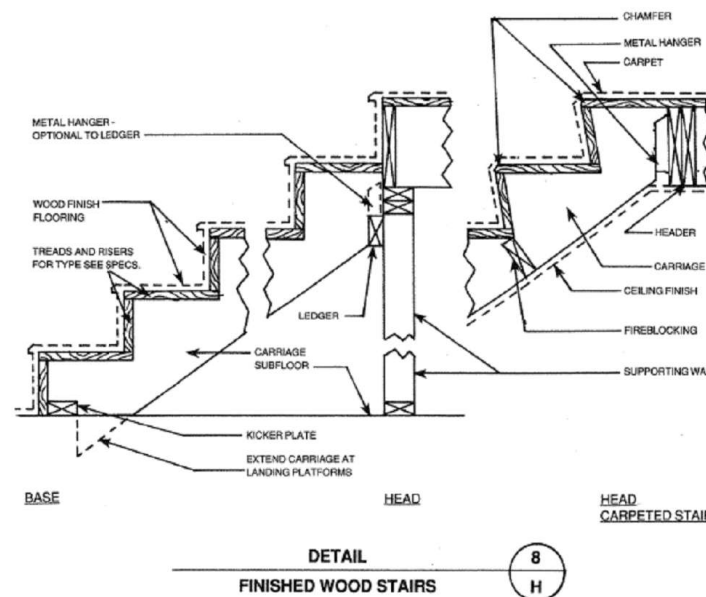


② Proposed 2nd Floor - Callout 1
1/2" = 1'-0"



③ Proposed 3rd Floor - Callout 1
1/2" = 1'-0"

Stair Schedule						
Family	Actual Riser Height	Actual Number of Risers	Actual Tread Depth	Base Level	Top Level	Landing Type
Assembled Stair	0' - 8 5/16"	13	0' - 11"	Proposed 1st Floor	Proposed 2nd Floor	Non-Monolithic Landing
Assembled Stair	0' - 8 5/16"	14	0' - 11"	Proposed 2nd Floor	Proposed 3rd Floor	Non-Monolithic Landing
Assembled Stair	0' - 8 5/16"	13	0' - 11"	Proposed 1st Floor	Proposed 2nd Floor	Non-Monolithic Landing
Assembled Stair	0' - 8 5/16"	14	0' - 11"	Proposed 2nd Floor	Proposed 3rd Floor	Non-Monolithic Landing
Assembled Stair	0' - 8 5/16"	13	0' - 11"	Proposed 1st Floor	Proposed 2nd Floor	Non-Monolithic Landing
Assembled Stair	0' - 8 5/16"	13	0' - 11"	Proposed 1st Floor	Proposed 2nd Floor	Non-Monolithic Landing
Assembled Stair	0' - 6 3/4"	13	0' - 11"	Proposed 1st Floor	Proposed 2nd Floor	Non-Monolithic Landing
Assembled Stair	0' - 6 3/4"	14	0' - 11"	Proposed 2nd Floor	Proposed 3rd Floor	Non-Monolithic Landing
Assembled Stair	0' - 6 3/4"	13	0' - 11"	Proposed 1st Floor	Proposed 2nd Floor	Non-Monolithic Landing
Assembled Stair	0' - 6 3/4"	14	0' - 11"	Proposed 2nd Floor	Proposed 3rd Floor	Non-Monolithic Landing
Assembled Stair	0' - 8 5/16"	13	0' - 11"	Proposed 2nd Floor	Proposed 3rd Floor	Non-Monolithic Landing
Assembled Stair	0' - 8 5/16"	13	0' - 11"	Proposed 2nd Floor	Proposed 3rd Floor	Non-Monolithic Landing



STAIRS & RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCROACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.

TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".

STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.

ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS.

THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSSSECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS.

THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW. RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS

Project	- Avocado Residence
Location	- San Diego, California
Software	- AutoCad
Scope of Work	- Construction Document Set



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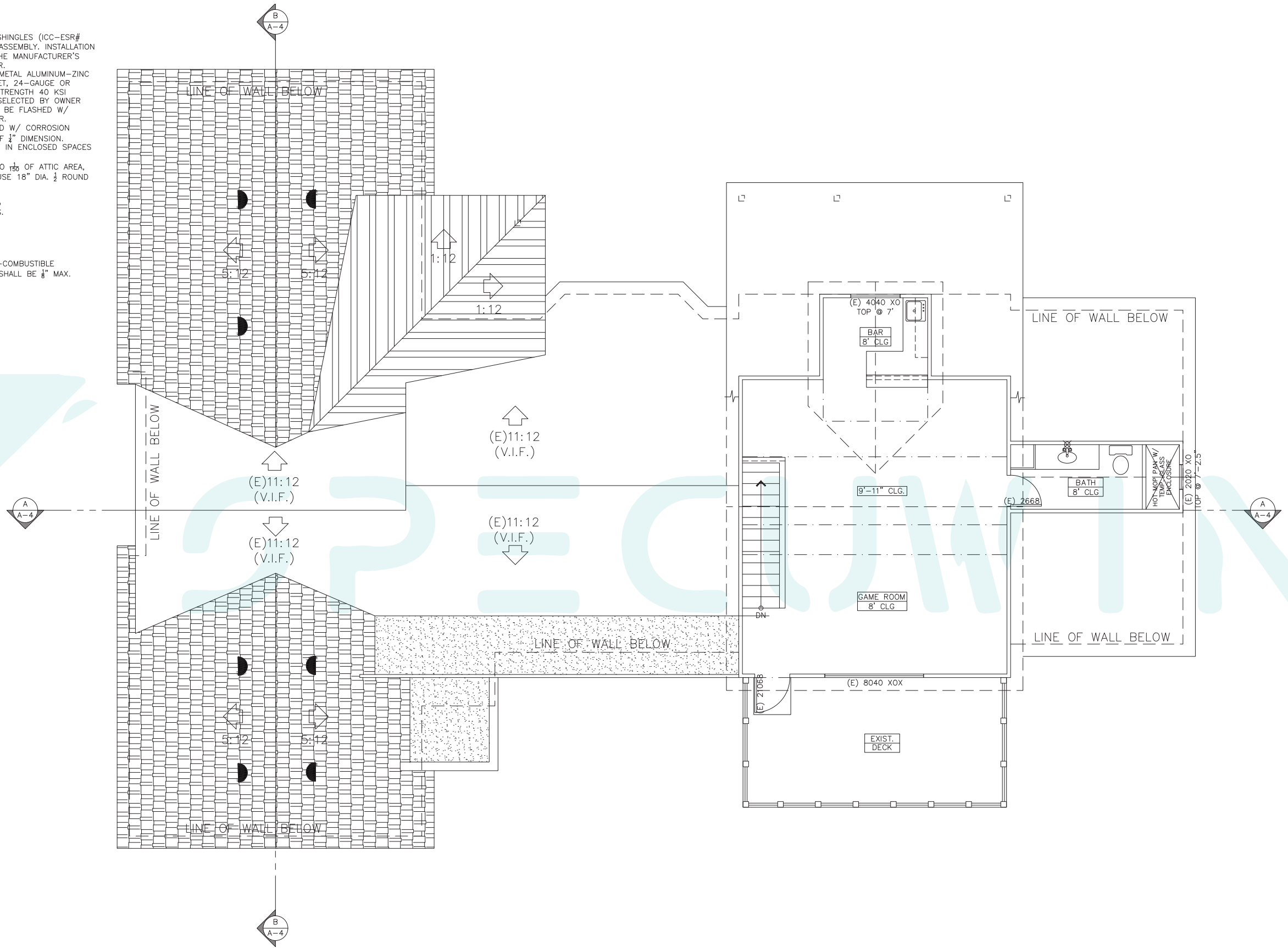
ROOFING NOTES:

1. NEW ROOFING TO BE CLASS "A" COMPOSITION SHINGLES (ICC-ES# 1475) O/ 40# FELT WITH CLASS "A" ROOFING ASSEMBLY. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. COLOR AS SELECTED BY OWNER.
2. ROOF OVER MAIN ENTRY TO BE PRE-FINISHED METAL ALUMINUM-ZINC ALLOY COATED (AZ-50 GALVALUME) STEEL SHEET, 24-GAUGE OR 22-GAUGE*, ASTM 792-08, GRADE 40, YIELD STRENGTH 40 KSI MINIMUM. ICC NUMBER: ESR-2527. COLOR AS SELECTED BY OWNER
3. EVERY OPENING IN ANY EXTERIOR WALL SHALL BE FLASHED W/ SHEET METAL OR WATER PROOF BUILDING PAPER.
4. ATTIC VENTILATION OPENINGS SHALL BE COVERED W/ CORROSION RESISTANT METAL MESH, W/ MESH OPENINGS OF 1/4" DIMENSION.
5. PROVIDE FIRESTOPS, VERTICAL AND HORIZONTAL, IN ENCLOSED SPACES @ 10'-0" INTERVALS MAX. (UBC SEC 708.2.1)
6. VERIFY OR PROVIDE ATTIC VENTILATION EQUAL TO 1/100 OF ATTIC AREA, AT EXISTING WHERE ATTIC AREA IS OVER 30". USE 18" DIA. 1/2 ROUND DORMER VENTS TYP. 0.75 SQ. FT. AREA.

NEW ATTIC AREA = 937 SQ. FT. / 150 = 6.25
PROVIDE 7 VENTS.

 INDICATES VENTS

VENT OPENINGS SHALL BE COVERED WITH NON-COMBUSTIBLE CORROSION RESISTANT MESH. MESH OPENINGS SHALL BE 1/8" MAX.
EXISTING VENTS TO REMAIN.

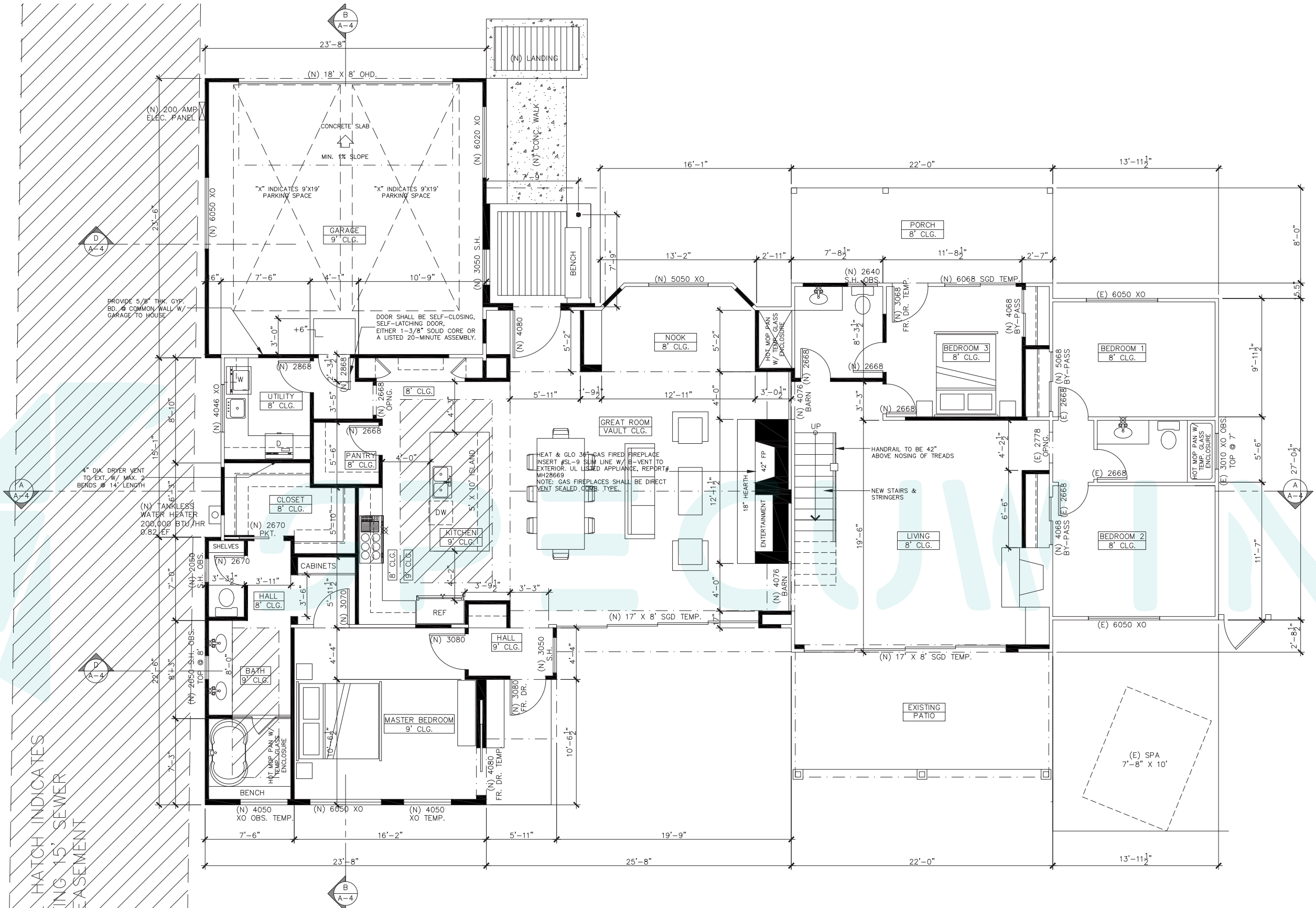


WALL LEGEND
 EXISTING WALLS TO REMAIN
 NEW WALLS

 PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

PROPOSED HABITABLE FLOOR AREA: 640 SQ. FT.
EXISTING DECK: 224 SQ. FT.



DIAGONAL HATCH INDICATES EXISTING 15' SEWER EASEMENT

WALL LEGEND
 ——— EXISTING WALLS TO REMAIN
 ——— NEW WALLS

PROPOSED MAIN FLOOR PLAN
 1/4" = 1'-0"
 PROPOSED TOTAL HABITABLE FLOOR AREA: 2,679 SQ. FT.
 PROPOSED GARAGE: 549 SQ. FT.

ELECTRICAL NOTES:

PERMANENTLY LABEL ALL CIRCUIT BREAKERS.

GROUND FAULT CIRCUIT INTERRUPTER (GFCI) OUTLETS ARE REQUIRED IN BATHROOMS, KITCHENS, AND WET BAR SINKS, IN ATTACHED GARAGES, IN CRAWLSPACES, IN UNFINISHED BASEMENTS, AND OUTDOORS.

MIN. 36" CLEAR WORKING SPACE IN FRONT OF ALL ELECTRICAL PANELS AND DISCONNECTS

SMOKE DETECTORS SHALL BE INSTALLED PER 2016 NEC.

- A) EACH SLEEPING ROOM
- B) AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATED SLEEPING ROOM
- C) ROOMS OPEN TO A HALLWAY SERVING BEDROOMS WHERE THE CEILING HEIGHT EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE
- D) BATTERY OPERATED SMOKE DETECTORS MAY BE USED IN EXISTING
- E) SMOKE ALARMS ARE REQUIRED TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF 1 ALARM WILL ACTIVATE ALL OF THE ALARMS.

NEW UNIT INTERCONNECTION NOTE: WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH CEC ARTICLE 210.52(A).

BATHROOM CIRCUITING SHALL BE EITHER:

- A) A 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM, OR
- B) AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.

FLUORESCENT FIXTURES MUST BE OF THE BALLASTED TYPE THAT CAN ONLY ACCEPT FLUORESCENT BULBS WITH A MINIMUM EFFICACY OF 40 LUMENS PER WATT.

IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY VACANCY SENSOR.

ELECTRICIAN TO VERIFY PROPER OUTLET SPACING AND LIGHTING REQUIREMENTS PRIOR TO INSTALLATION OF SUCH OUTLETS AND LIGHTING.

VERIFY ALL OUTLET, RECEPTACLE AND LIGHTING LOCATIONS WITH OWNER.

TAMPER RESISTANT RECEPTACLES ARE REQUIRED THROUGHOUT ENTIRE DWELLING UNIT PER THE 2010 CA ELECTRICAL CODE ARTICLE 406.11 TAMPER-RESISTANT RECEPTACLES. ALL OUTLETS NOT NOTED AS GFCI, MUST BE AFCI OUTLETS.

ALL ELECTRICAL DEVICES INSTALLED IN THE DWELLING SHALL BE COMPLIANT WITH CEC ARTICLE 210 & 406. g) WEATHER RESISTANT TYPE, FOR RECEPTACLES IN WET LOCATIONS (OUTSIDE)

3. LIGHTING NOTES:

- a. ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH ES TABLE 150.0-A. LIGHT SOURCES THAT ARE NOT MARKED "JA8-2016-E" SHALL NOT BE INSTALLED IN ENCLOSED LUMINAIRES. ES 150.0(k)
- b. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.
- c. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LED STYLE LUMINAIRES. TWO EXCEPTIONS: FIXTURES INSTALLED IN HALLWAYS OR (CLOSETS UNDER 70 SQUARE FEET).
- d. RECESSED CAN LIGHT FIXTURES SHALL BE IC LISTED, AIR-TIGHT LABELED, AND NOT BE EQUIPPED WITH A STANDARD MEDIUM BASE SCREW SHELL LAMP HOLDER, ES 150.0(k)
- e. SFD OUTDOOR LIGHTING FIXTURES THAT ARE ATTACHED TO A BUILDING ARE REQUIRED TO BE HIGH EFFICACY, BE MANUALLY ON/OFF SWITCH CONTROLLED, AND HAVE BOTH MOTION SENSOR AND PHOTOCELL CONTROL. SEE ES 150.0(k) 3 FOR ADDITIONAL CONTROL OPTIONS.

14. MECHANICAL EXHAUST FANS FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING (CALGREEN 4.506.1).

SMOKE DETECTORS SHALL BE INSTALLED PER 2016 CRC.

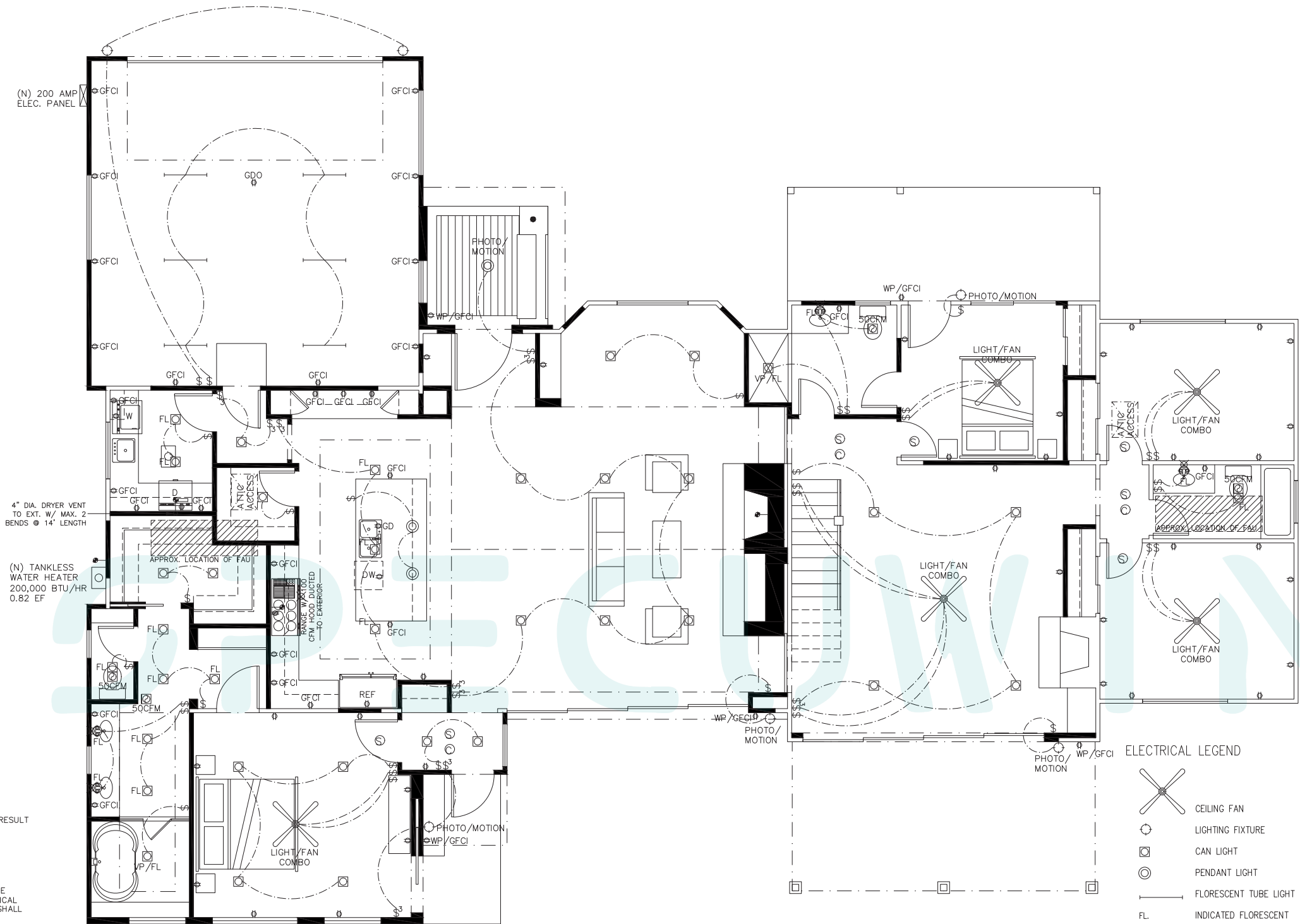
- A) EACH SLEEPING ROOM
- B) AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATED SLEEPING ROOM
- C) ROOMS OPEN TO A HALLWAY SERVING BEDROOMS WHERE THE CEILING HEIGHT EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE
- D) BATTERY OPERATED SMOKE DETECTORS MAY BE USED IN EXISTING
- E) SMOKE ALARMS ARE REQUIRED TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF 1 ALARM WILL ACTIVATE ALL OF THE ALARMS.

***SMOKE DETECTORS MUST BE VERIFIED OR ADDED AT EXISTING RESIDENCE
 ***TO COMPLY WITH THE LOCATIONS MENTIONED ABOVE. BATTERY OPERATED UNITS ***
 ***ARE NOT ACCEPTABLE AT THESE LOCATIONS

- 1. ALL SMOKE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL217 AND INSTALLED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF NFPA 72. SYSTEMS AND COMPONENTS SHALL BE California STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CCR, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.
- 2. BATTERY OPERATED SMOKE ALARMS ARE PERMITTED TO BE SOLELY BATTERY OPERATED IN EXISTING AREAS OF BUILDINGS UNDERGOING ALTERATIONS OR REPAIRS THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR BUILDING WIRING WITH OUT THE REMOVAL OF INTERIOR FINISHES. (NOT ALLOWED FOR THE PROPOSED PROJECT)
- 3. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
- 4. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. SMOKE ALARMS WILL BE INSTALLED ACCORDING TO THE 2016 CRC SECTION R314
- 5. ANY EXISTING SMOKE ALARMS THAT ARE MORE THAN 10 YEARS OLD WILL BE REPLACED.
- 6. THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC SECTION R314.3.4.

CARBON MONOXIDE DETECTORS SHALL BE LOCATED AT:

- 1. A) OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
- B) ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- 2. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES
- 3. SINGLE AND MULTIPLE-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075.
- 4. CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
- 5. WHERE MORE THAN ONE CARBON MONOXIDE DETECTOR IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- 6. CARBON MONOXIDE ALARMS WILL BE INSTALLED ACCORDING TO THE 2016 CRC SECTION R315



4" DIA. DRYER VENT TO EXT. W/ MAX. 2 BENDS @ 14" LENGTH

(N) TANKLESS WATER HEATER 200,000 BTU/HR 0.82 EF

APPROX. LOCATION OF FAULT

RANGE WATER COOK HOOD DUCTED TO EXTERIOR

APPROX. LOCATION OF FAULT

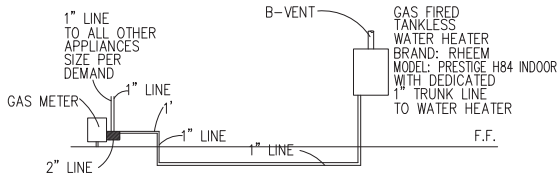
APPROX. LOCATION OF FAULT

APPROX. LOCATION OF FAULT

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APPROX. LOCATION OF FAULT



GAS PIPE LAYOUT (TO TANKLESS W.H. ONLY)

GAS PIPING SIZING BASED UPON A MIN. INPUT OF 199,000 BTU/HR. A CONDENSATION DRAIN INSTALLED NO HIGHER THAN 2" ABOVE THE BASE OF THE HEATER THAT ALLOWS FOR GRAVITY DRAINAGE. THE "B" VENT INSTALLED IN A STRAIGHT POSITION FROM THE ROOM CONTAINING THE WATER HEATER TO THE ROOF TERMINATION. (FOR FUTURE POSSIBLE SLEEVING FOR HIGH EFFICIENCY HEATER VENTING).

INSTANTANEOUS WATER HEATERS SHALL HAVE ISOLATION VALVES ON BOTH THE COLD AND HOT WATER PIPING LEAVING THE WATER HEATER COMPLETE WITH HOSE BIBS OR OTHER FITTINGS ON EACH VALVE FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED.

ALL DOMESTIC HOT WATER PIPING TO HAVE THE FOLLOWING MINIMUM INSULATION INSTALLED: 1/2" PIPE (1/2" INSULATION); 3/4" PIPE (1" INSULATION); 1" TO 1-1/2" (1-1/2" INSULATION).

BELOW GRADE HOT WATER PIPING IS REQUIRED TO BE INSTALLED IN A WATERPROOF AND NON-CRUSHABLE SLEEVE OR CASING THAT ALLOWS FOR REPLACEMENT OF BOTH THE PIPING AND INSULATION.

MAIN FLOOR ELECTRICAL PLAN
 1/4" = 1'-0"

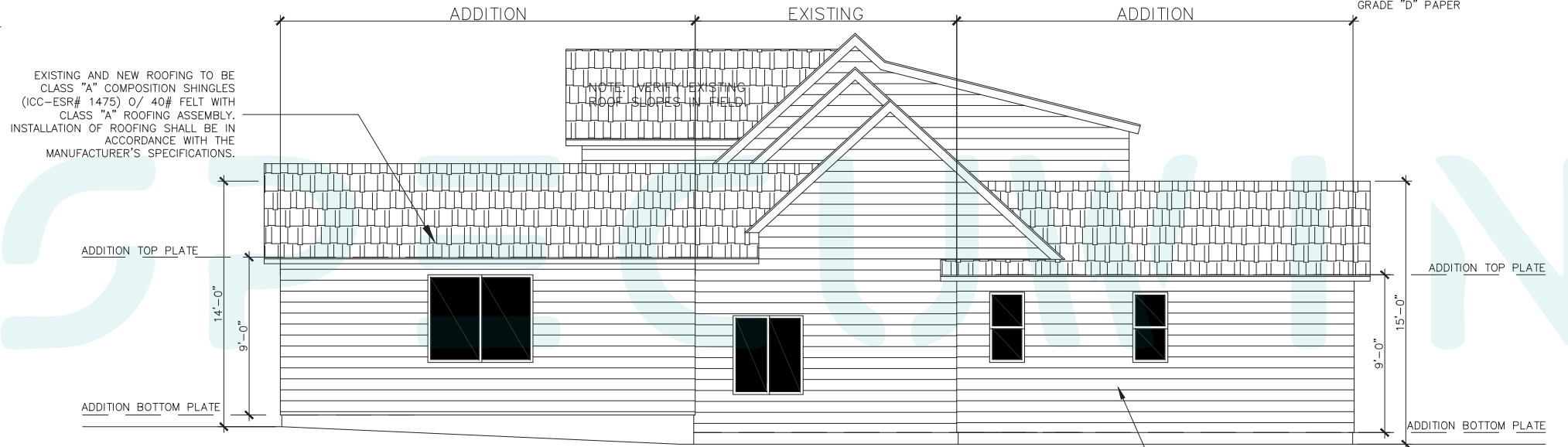
ELECTRICAL LEGEND

	CEILING FAN
	LIGHTING FIXTURE
	CAN LIGHT
	PENDANT LIGHT
	FLORESCENT TUBE LIGHT
	INDICATED FLORESCENT
	EXHAUST FAN
	VAPOR PROTECTED
	STANDARD OUTLET
	220 OUTLET
	GROUND FAULT CIRCUIT INTERRUPTER
	WEATHER PROTECTED G.F.C.I.
	GAS STUB
	GAS KEY
	SWITCH
	3 WAY SWITCH
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	PHONE
	CABLE



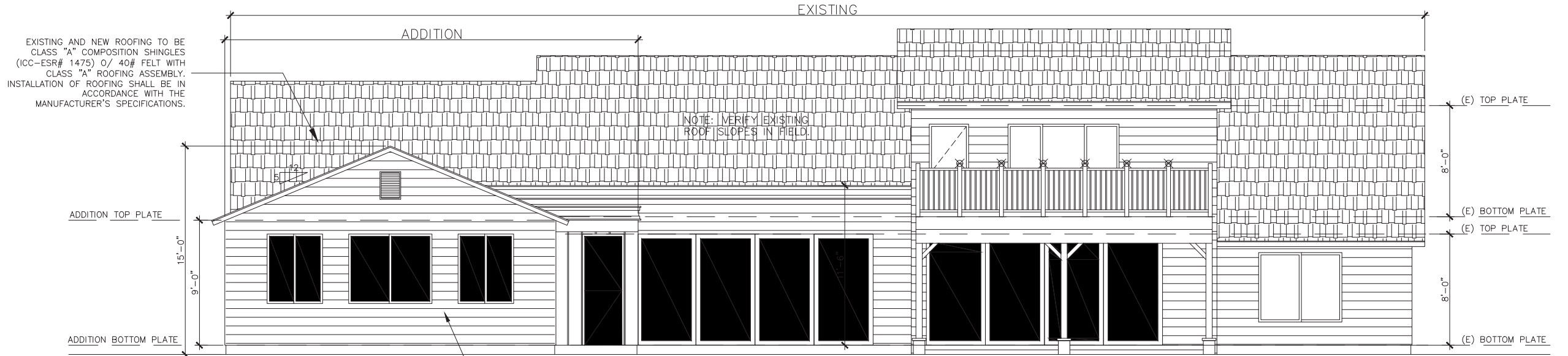
FRONT ELEVATION

1/4" = 1'-0"



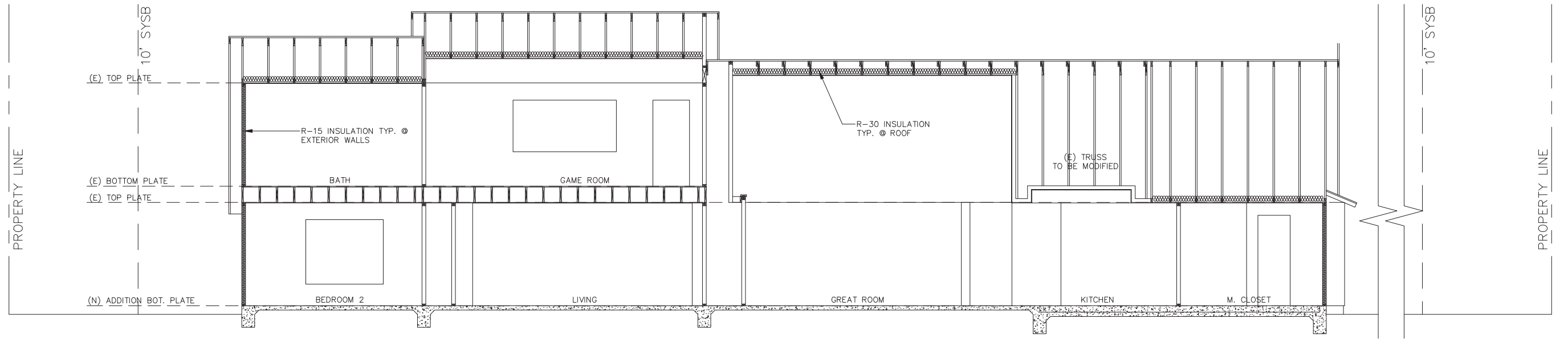
RIGHT SIDE ELEVATION

1/4" = 1'-0"

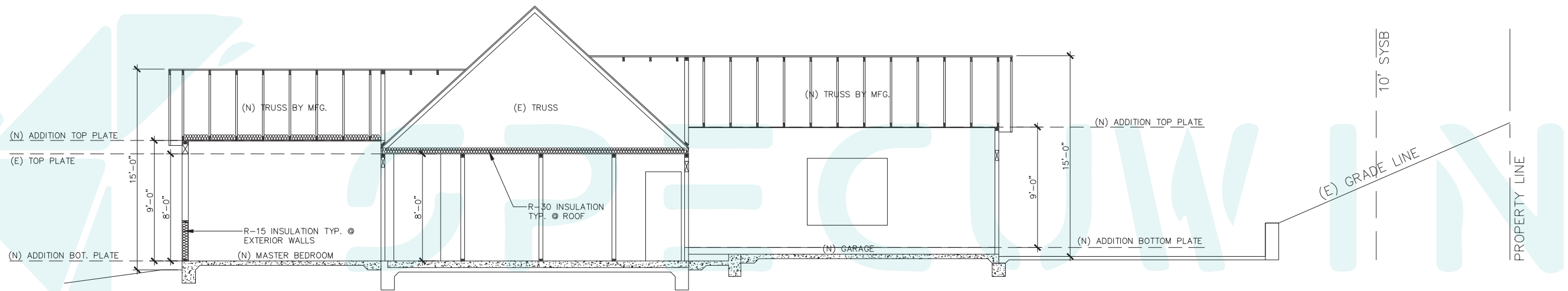


REAR ELEVATION

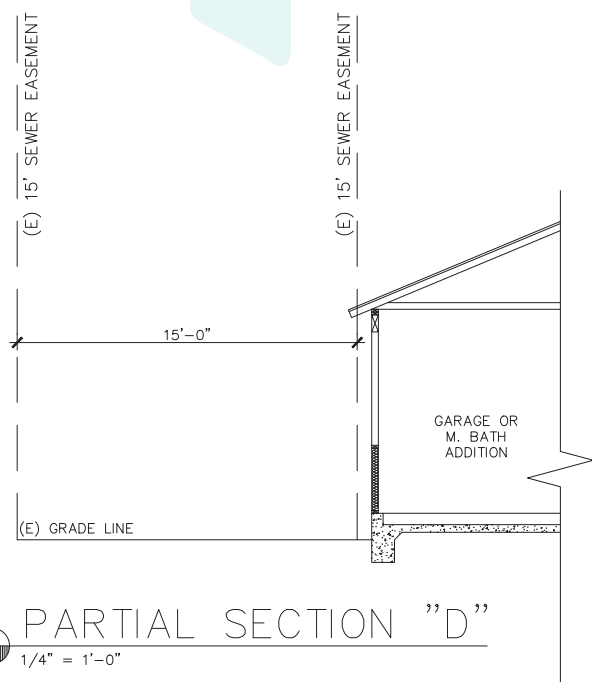
1/4" = 1'-0"



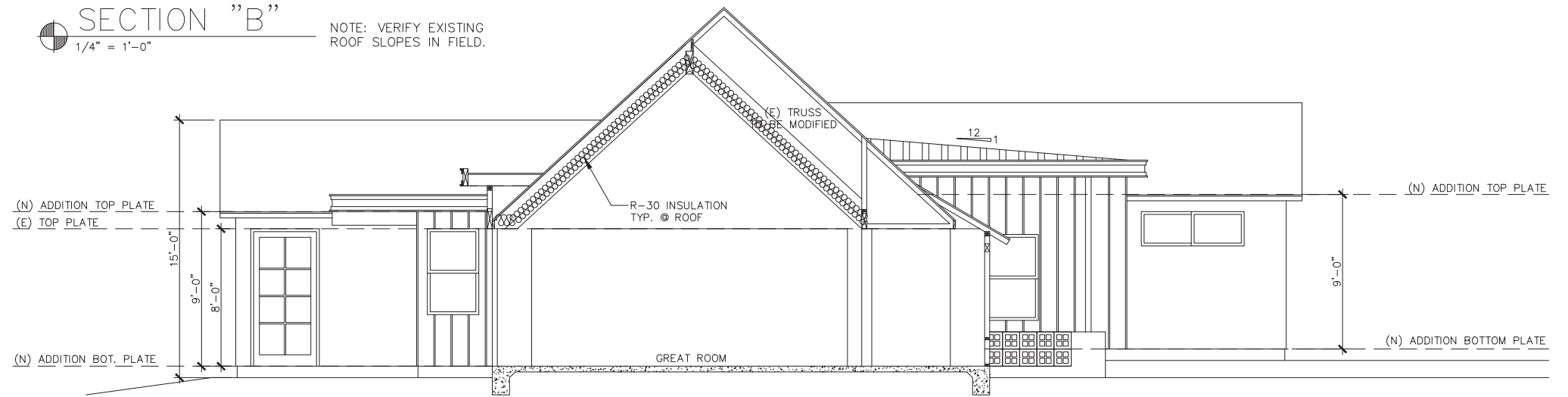
SECTION "A"
 1/4" = 1'-0"
 NOTE: VERIFY EXISTING ROOF SLOPES IN FIELD.



SECTION "B"
 1/4" = 1'-0"
 NOTE: VERIFY EXISTING ROOF SLOPES IN FIELD.



PARTIAL SECTION "D"
 1/4" = 1'-0"



SECTION "C"
 1/4" = 1'-0"
 NOTE: VERIFY EXISTING ROOF SLOPES IN FIELD.

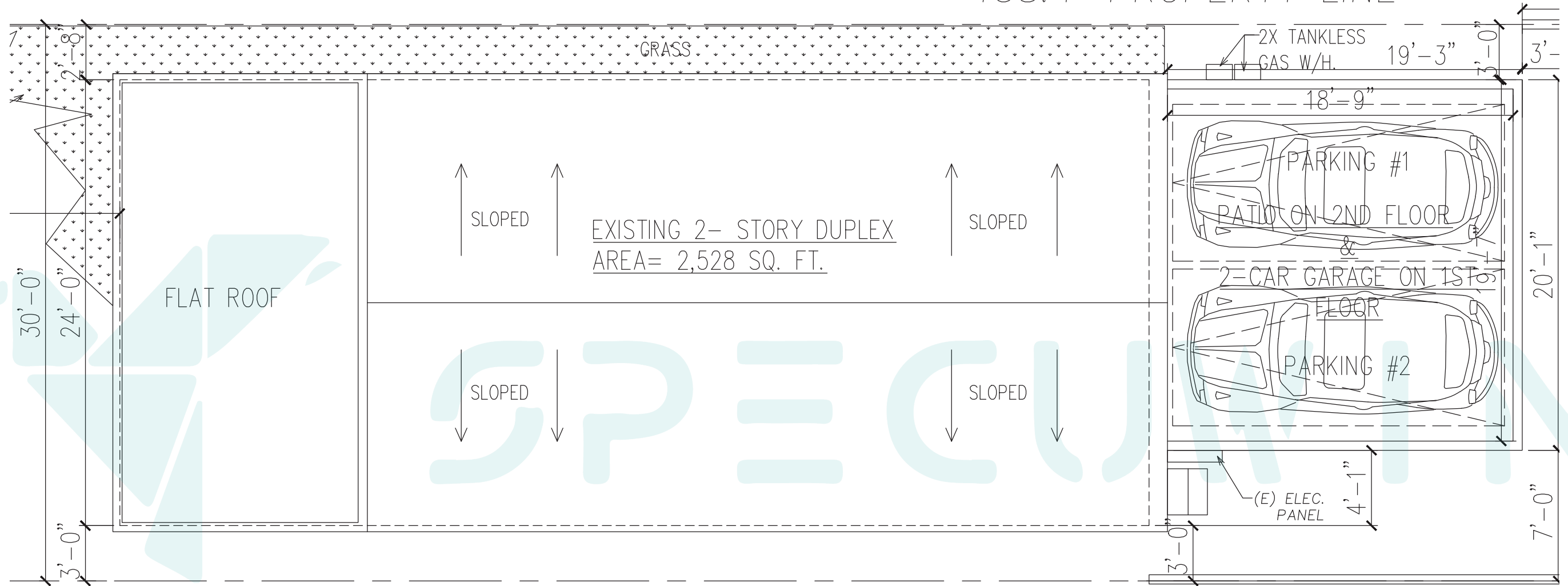
3

Project	- Pacific Ave
Location	- Los Angeles, California
Software	- AutoCad
Scope of Work	- Construction Document Set

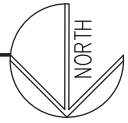


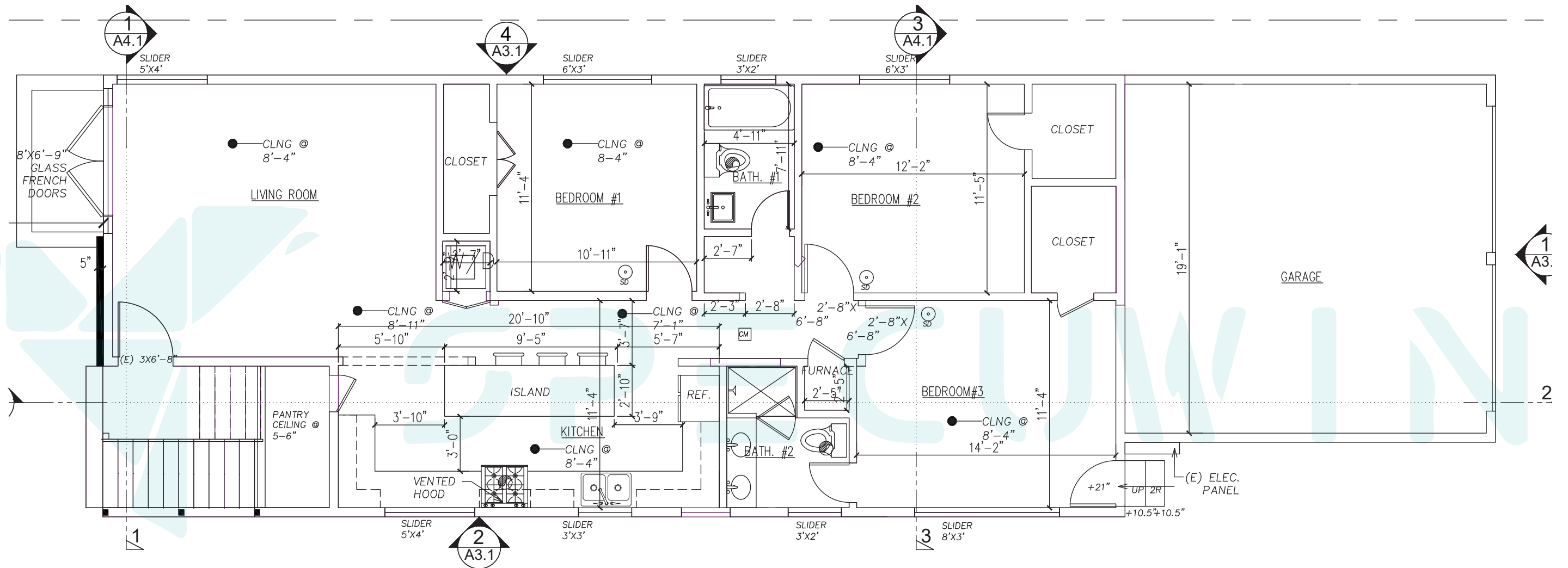
SPECUWIN

138.4' PROPERTY LINE

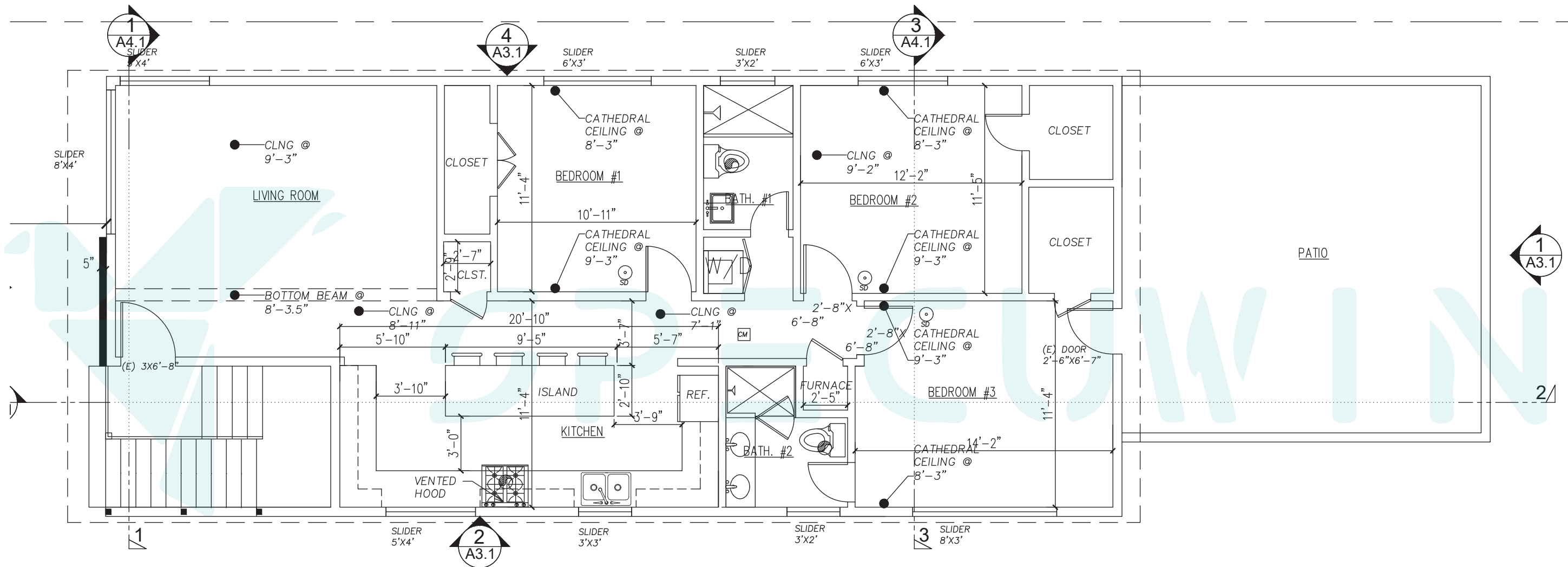


1 EXISTING ROOF PLAN
A-2.3 1/4" = 1'-0"



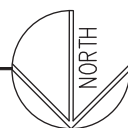


1 FIRST FLOOR PROPOSED PLAN
 A-2.1 1/4" = 1'-0" 

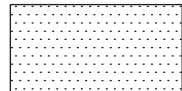


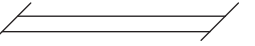



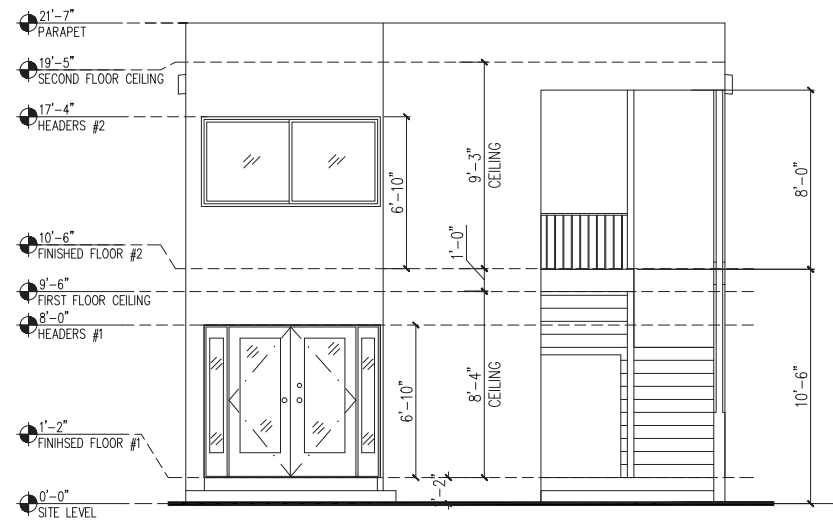
2 SECOND FLOOR PROPOSED PLAN

A-2.1 1/4" = 1'-0"

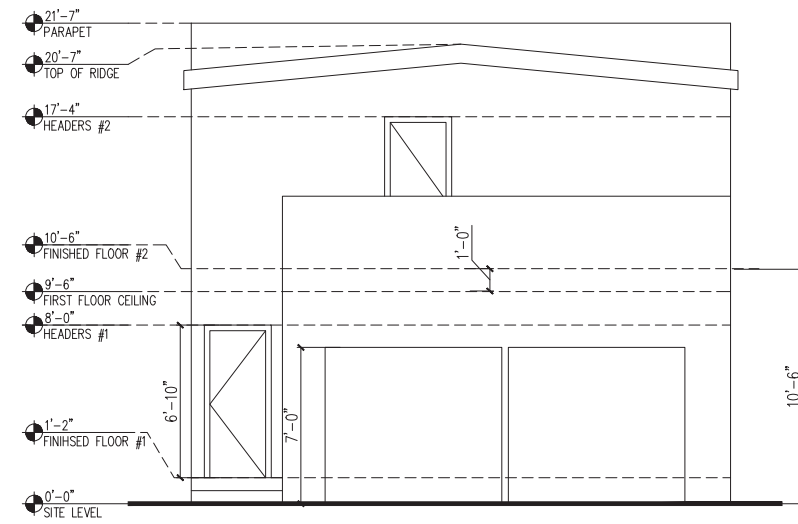


LEGEND

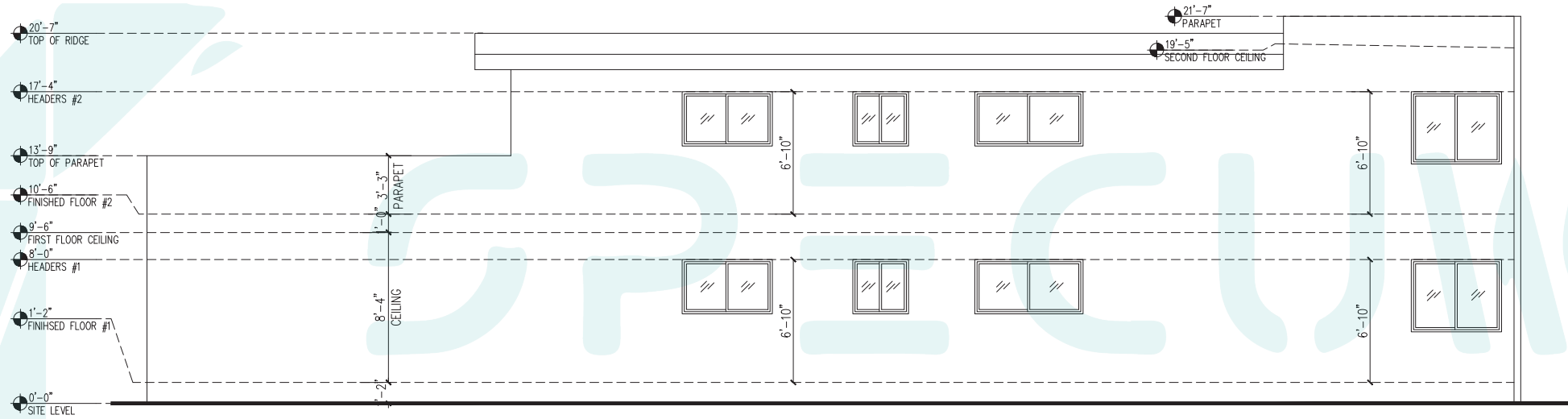
- | | | | |
|---|------------------------|---|---------------------------------|
|  | BUILDING ADDITION |  | NEW WALLS |
|  | ITEMS TO BE DEMOLISHED |  | EXISTING WALLS |
| | |  | WALLS/ WINDOWS TO BE DEMOLISHED |



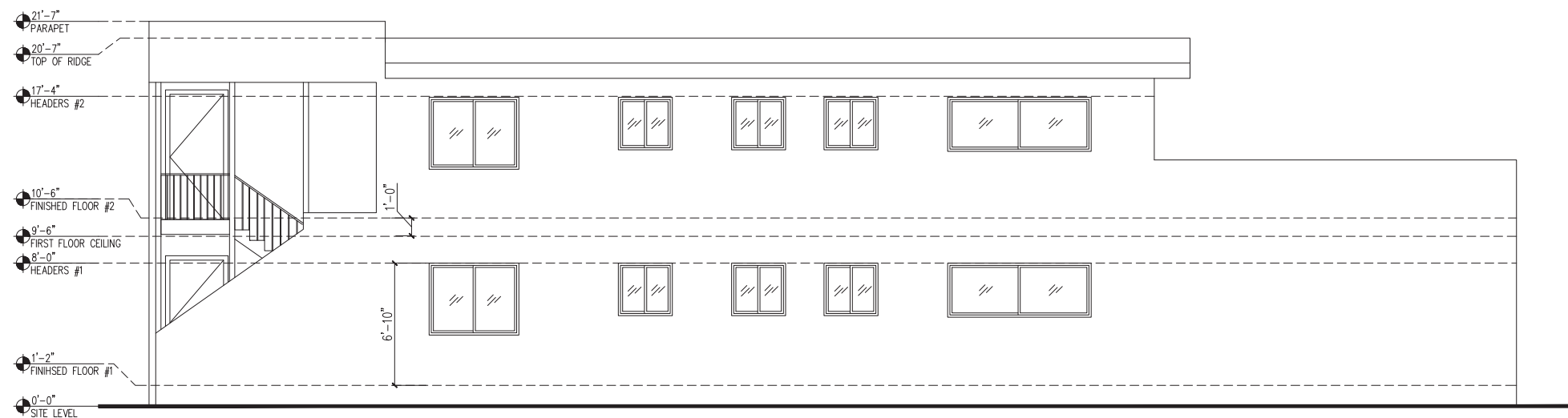
1 FRONT (EAST) EXTERIOR ELEVATION
A-3.1 1/4" = 1'-0"



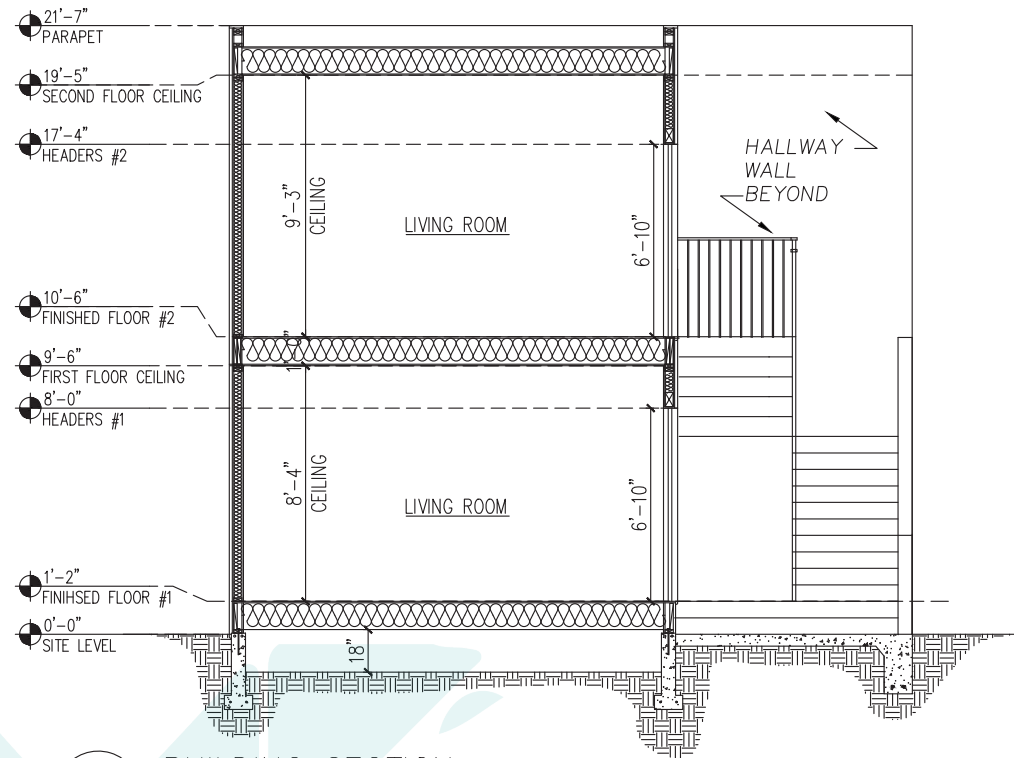
3 BACK (WEST) EXTERIOR ELEVATION
A-3.1 1/4" = 1'-0"



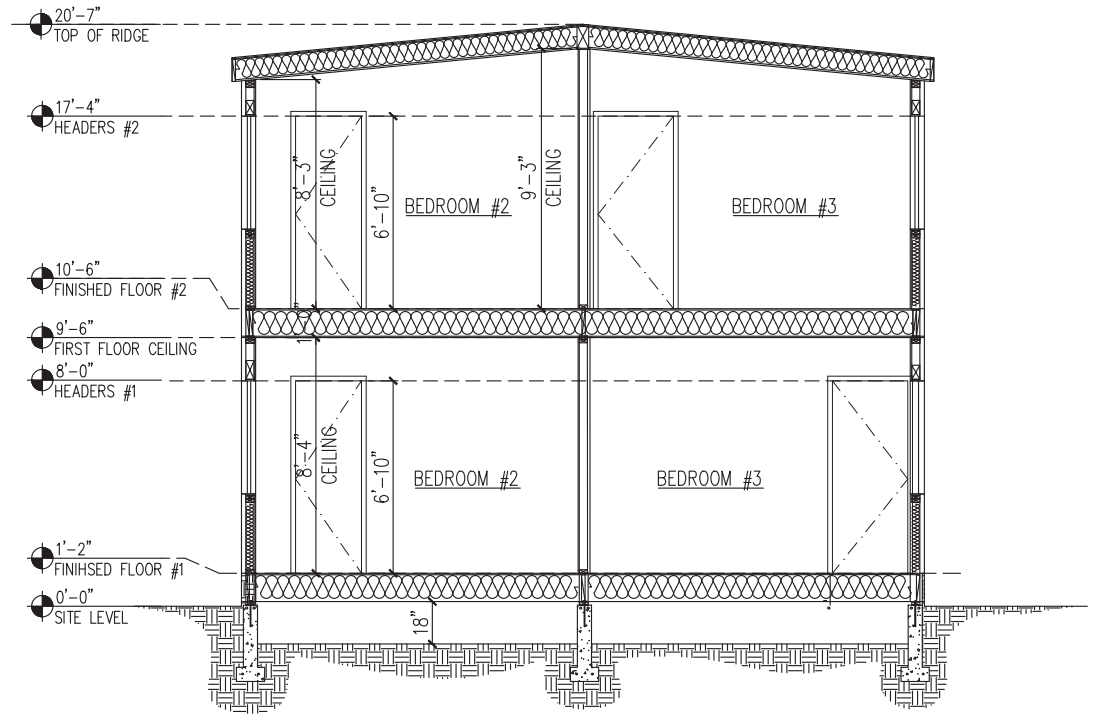
2 LEFT (SOUTH) EXTERIOR ELEVATION
A-3.1 1/4" = 1'-0"



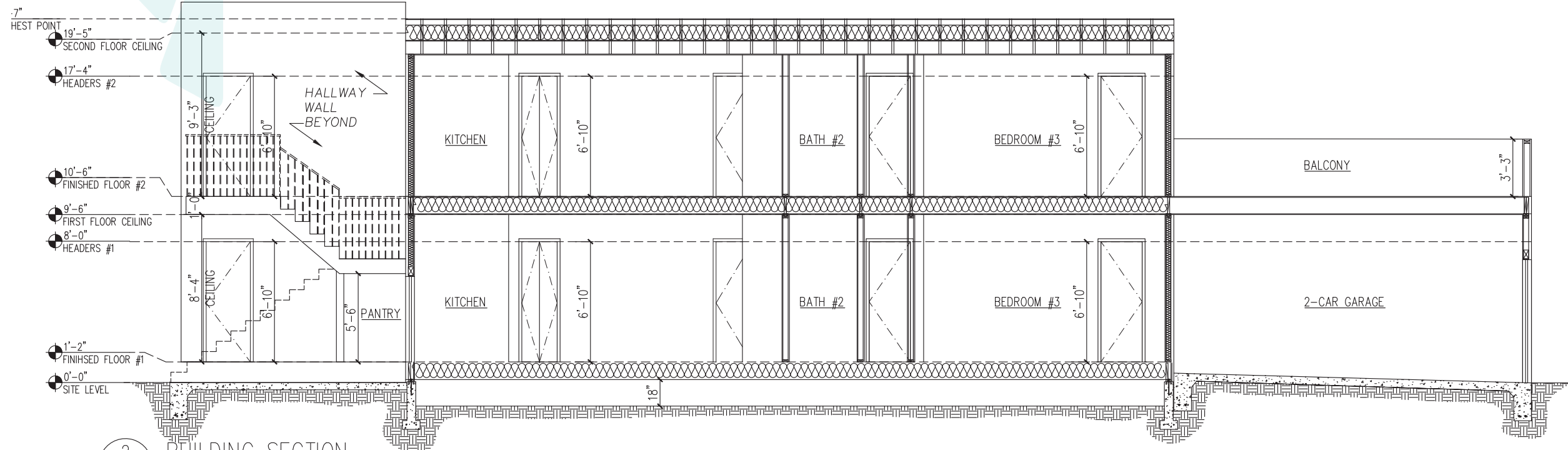
4 RIGHT (NORTH) EXTERIOR ELEVATION
A-3.1 1/4" = 1'-0"



1 BUILDING SECTION
A-4.1 1/4" = 1'-0"



3 BACK (WEST) EXTERIOR ELEVATION
A-4.1 1/4" = 1'-0"



2 BUILDING SECTION
A-4.1 1/4" = 1'-0"

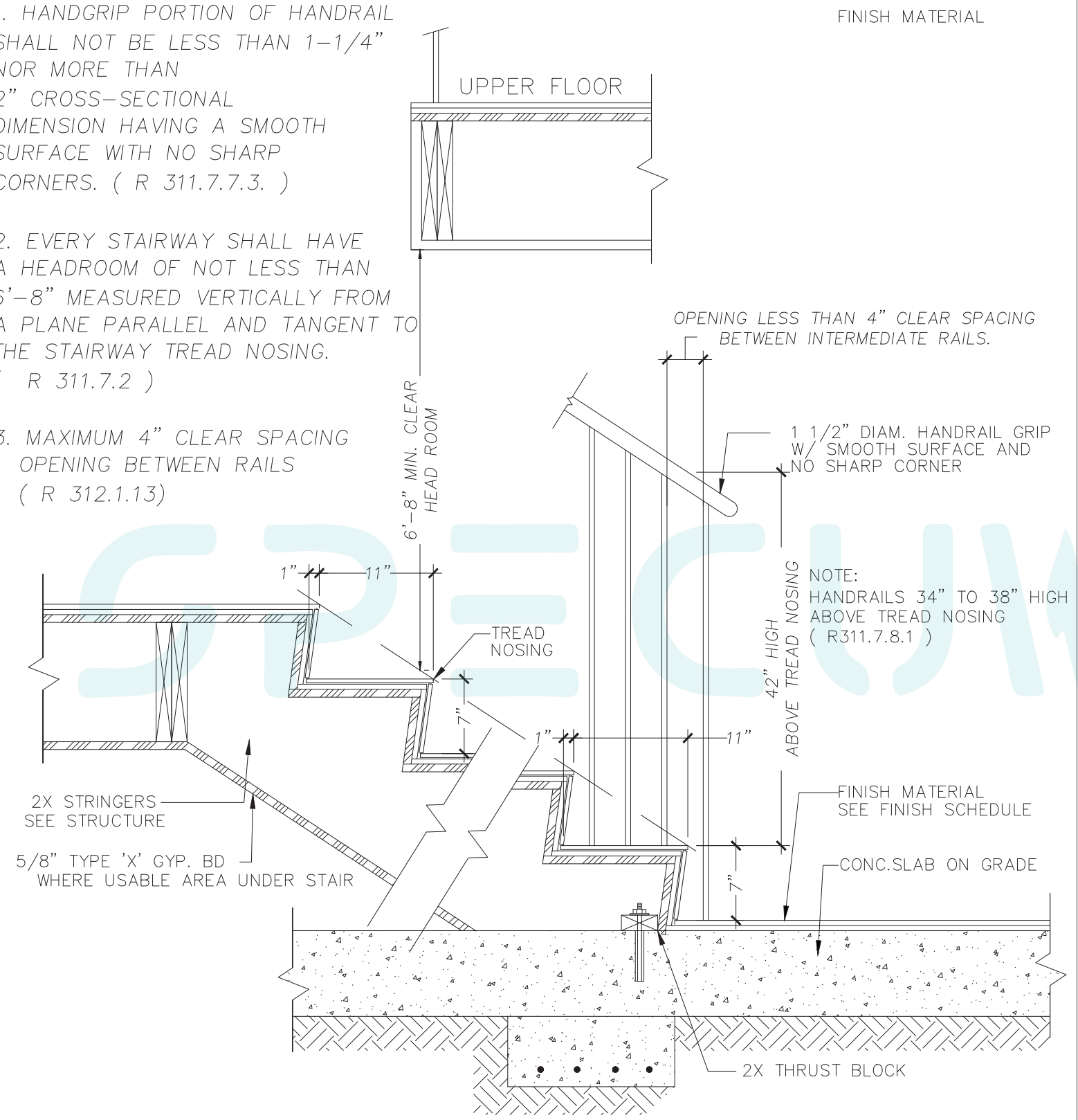
SPECULWIN

NOTES:

1. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (R 311.7.7.3.)

2. EVERY STAIRWAY SHALL HAVE A HEADROOM OF NOT LESS THAN 6'-8" MEASURED VERTICALLY FROM A PLANE PARALLEL AND TANGENT TO THE STAIRWAY TREAD NOSING. (R 311.7.2)

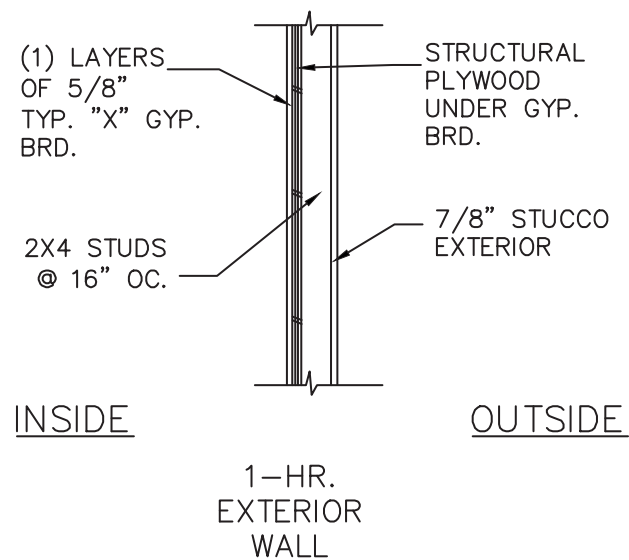
3. MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS (R 312.1.13)



4

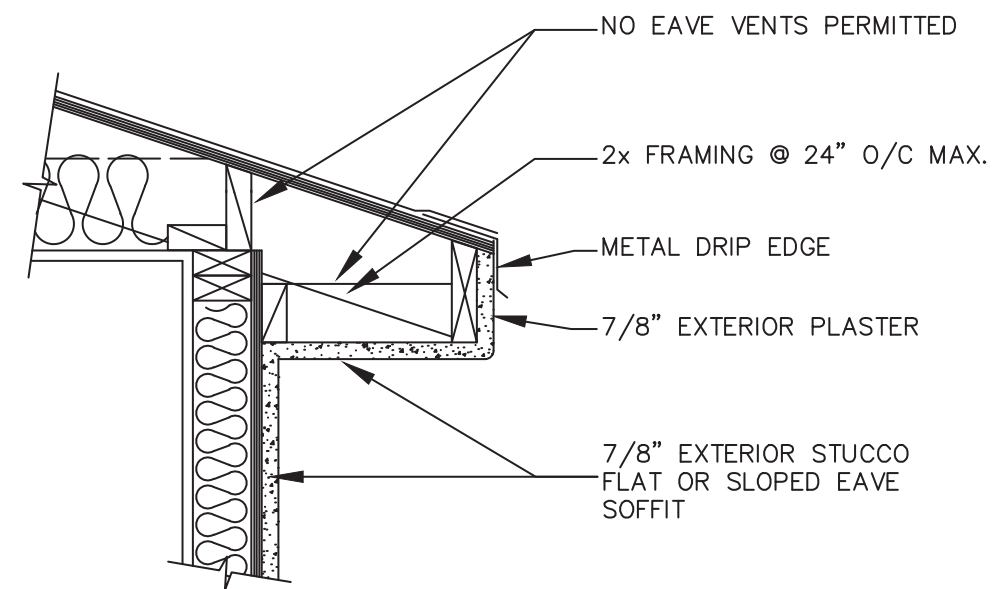
STAIRWAY

SCALE: NTS



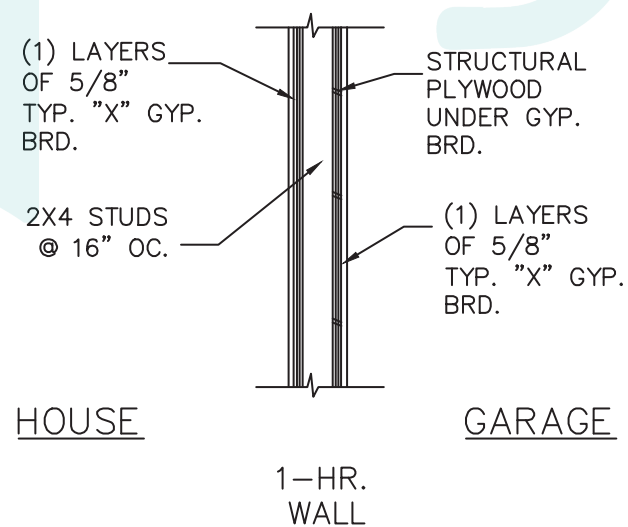
3
A2.1

1-HR. EXTERIOR WALL DETAIL
N.T.S.



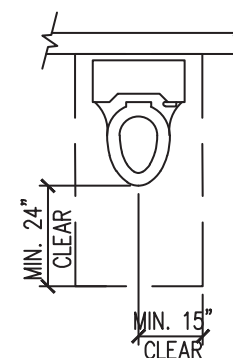
5
A2.1

1 HR. RATED ROOF PROJECTION
N.T.S.



4
A2.1

1-HR. GARAGE WALL DETAIL
N.T.S.



NOTE:
NEW WATER CLOSETS SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30 INCHES IN WIDTH AND HAVE A CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL OF NOT LESS THAN 24 INCHES.

6
A2.1

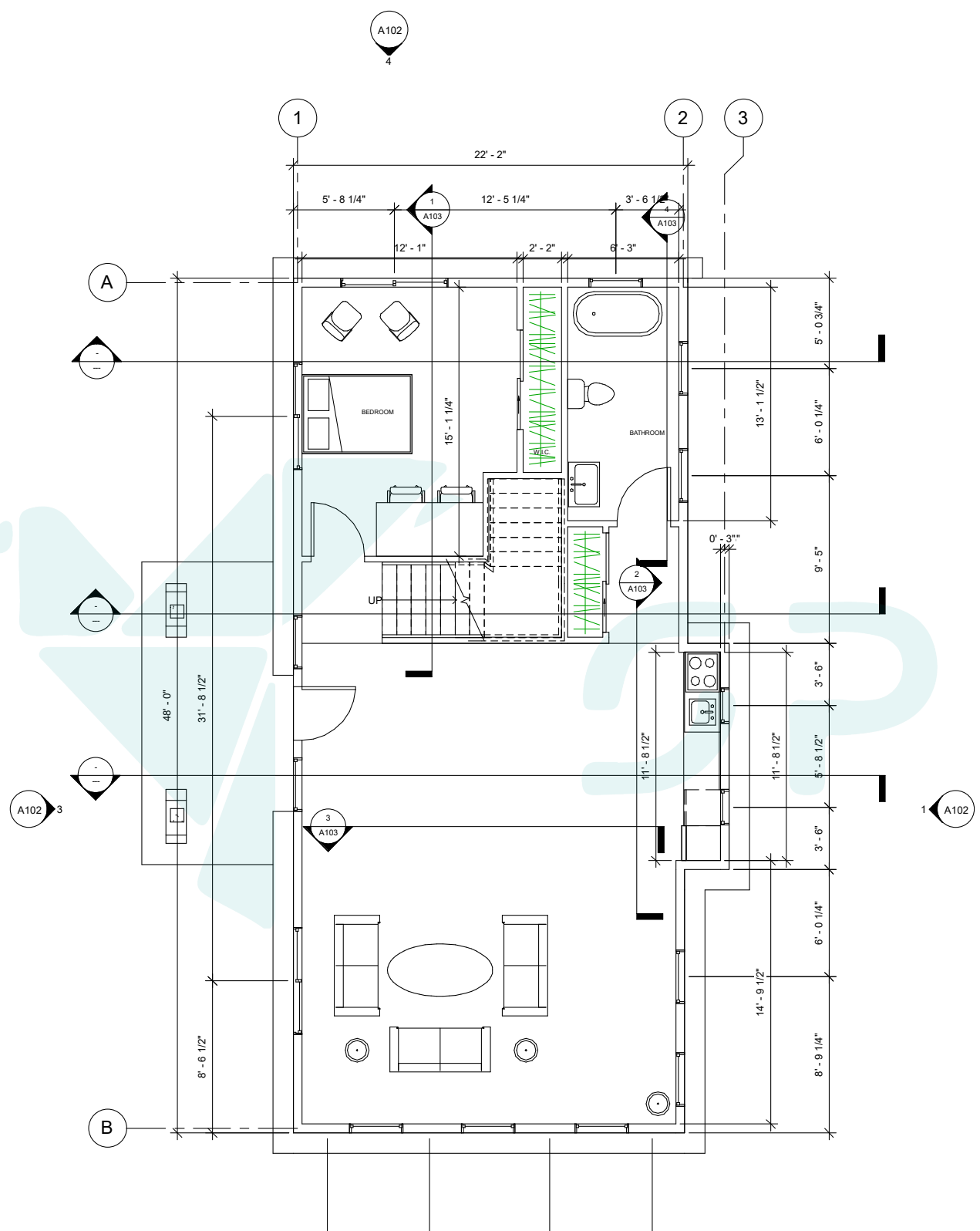
TOILET CLEARANCE
N.T.S.

4

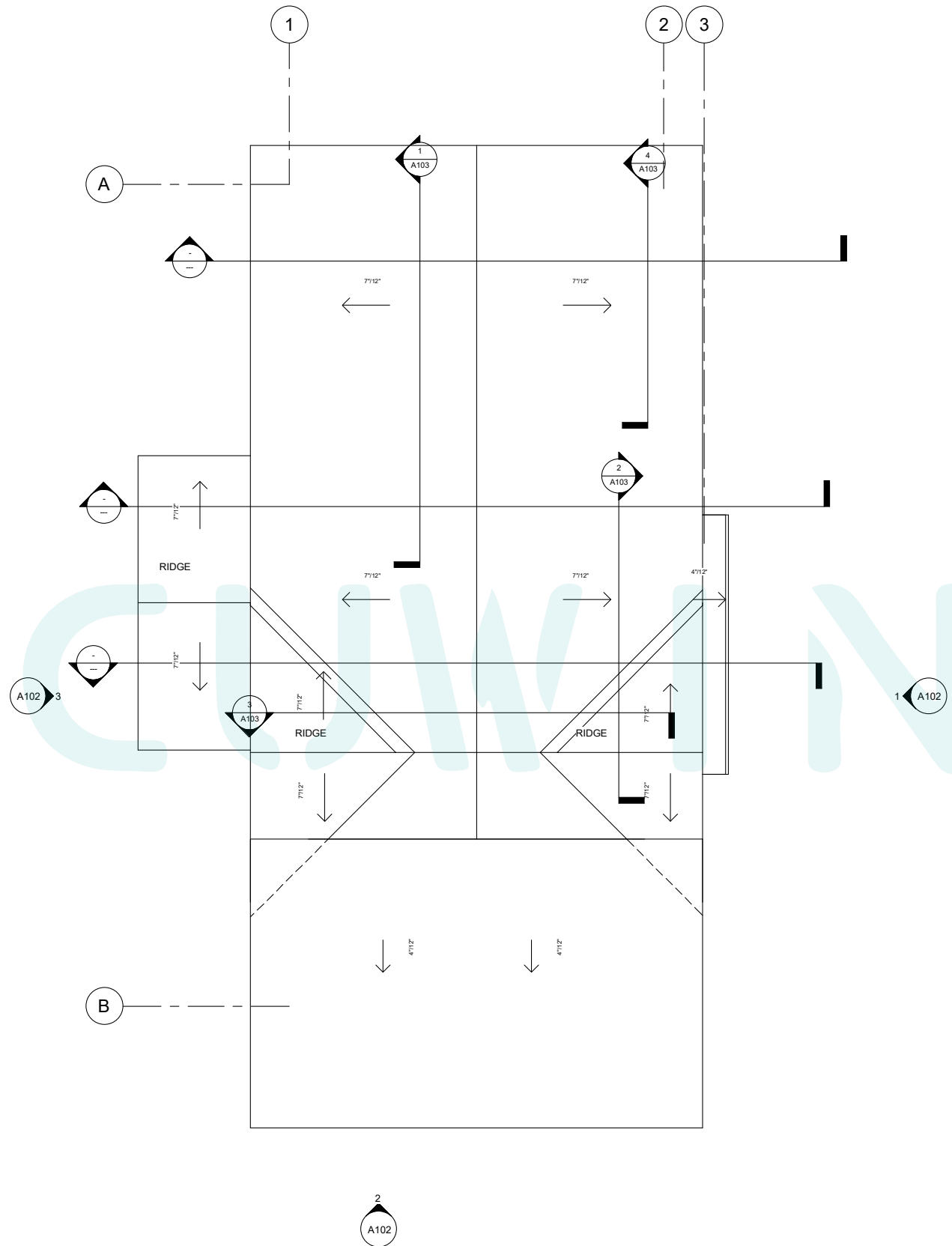
Project	- Residential
Location	- San Diego, California
Software	- Revit
Scope of Work	- 3D Modelling & Drafting



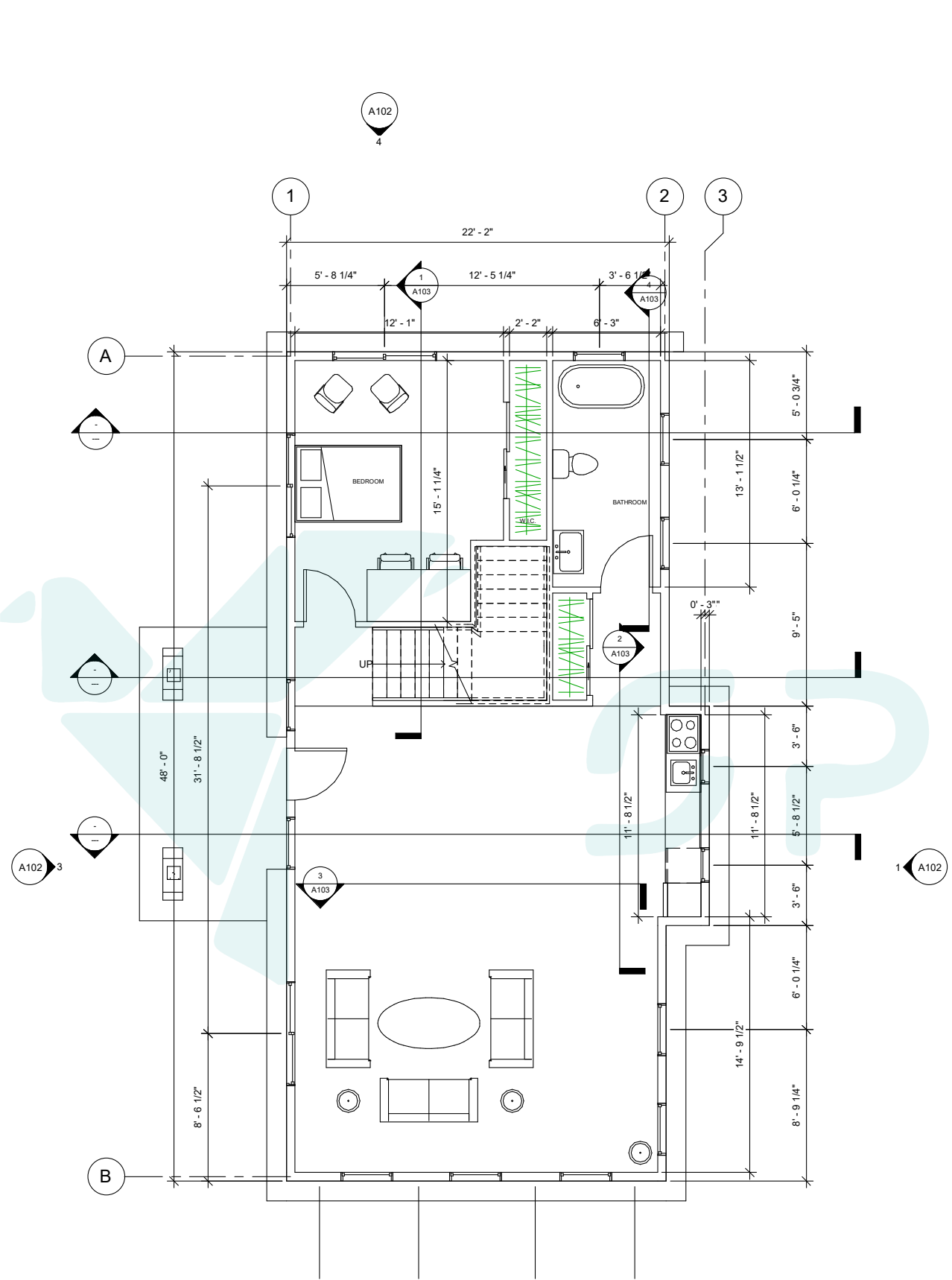
SPECUWIN



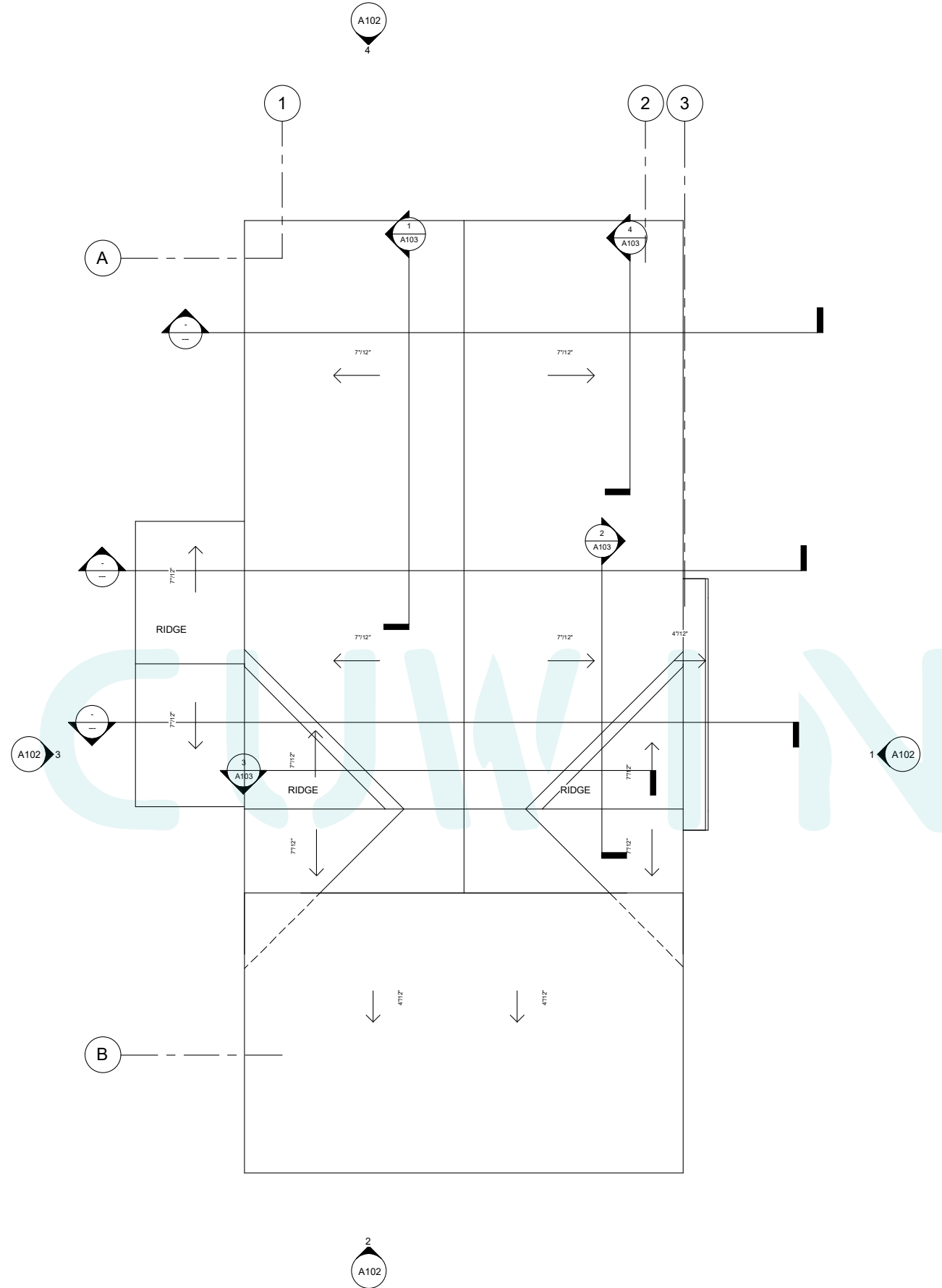
1 Level 1
1 : 50



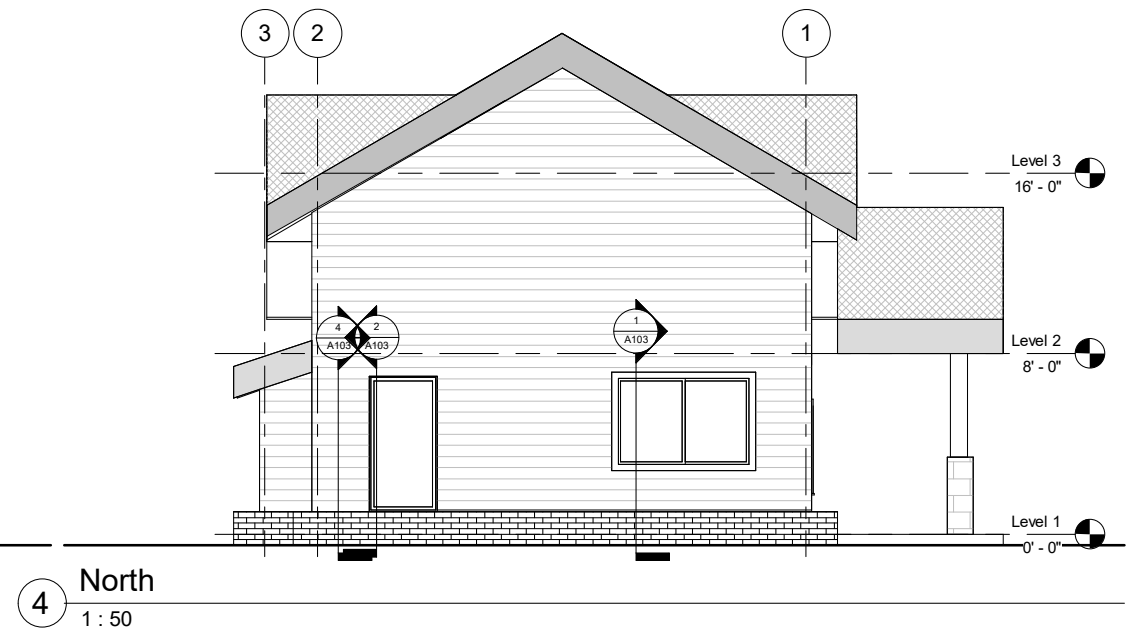
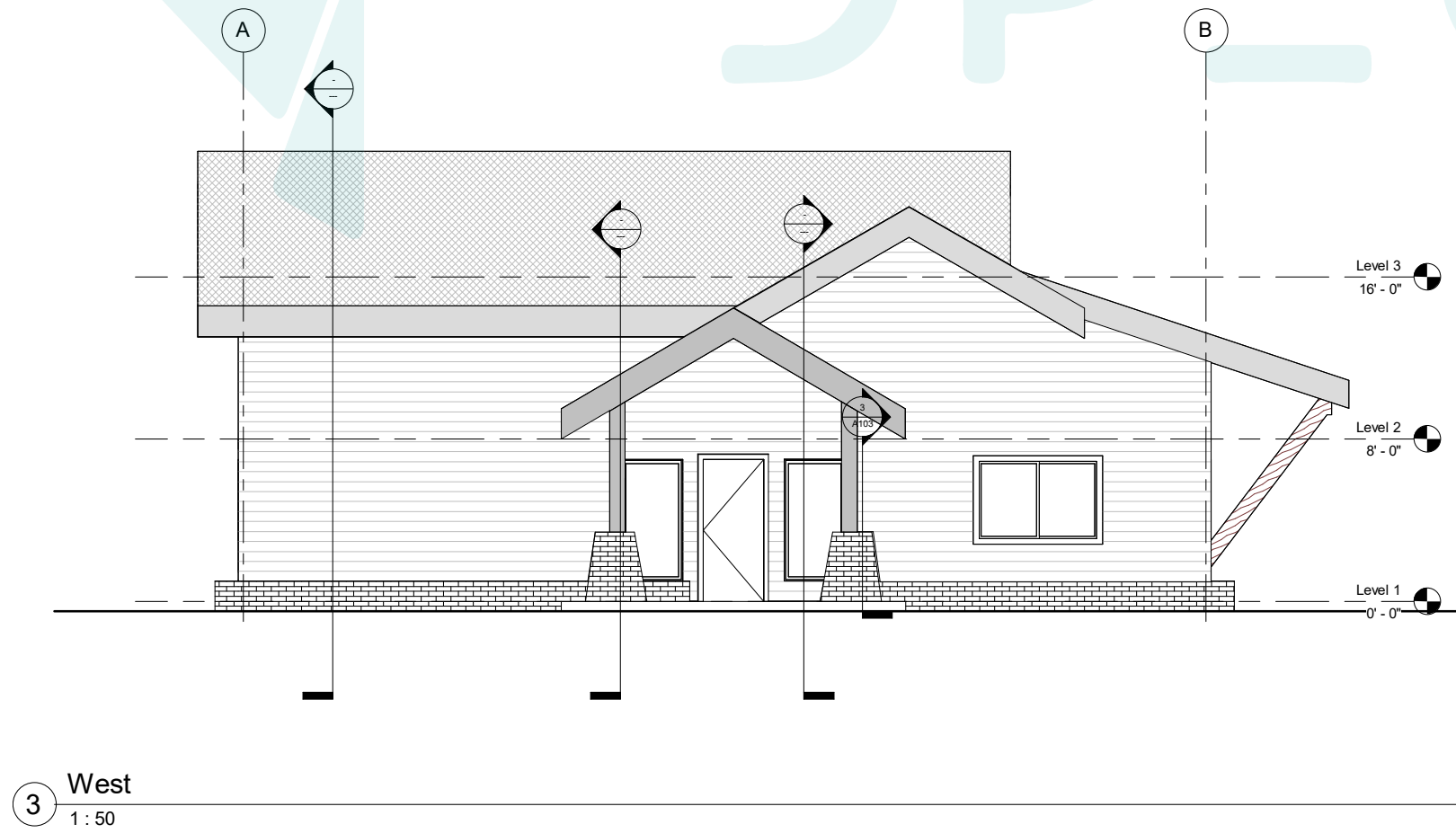
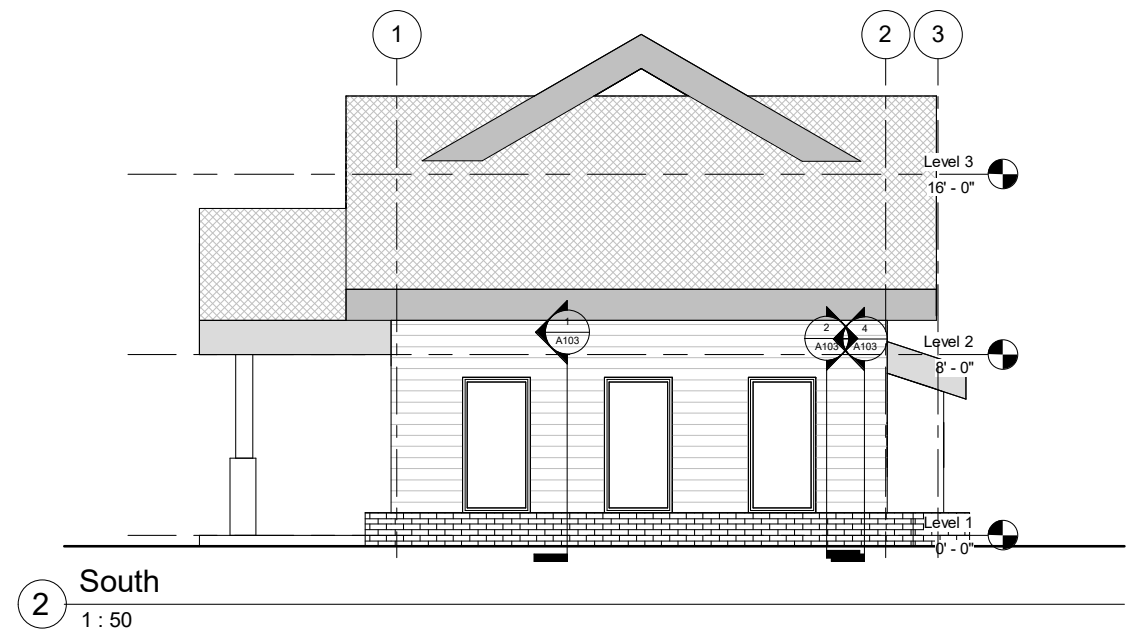
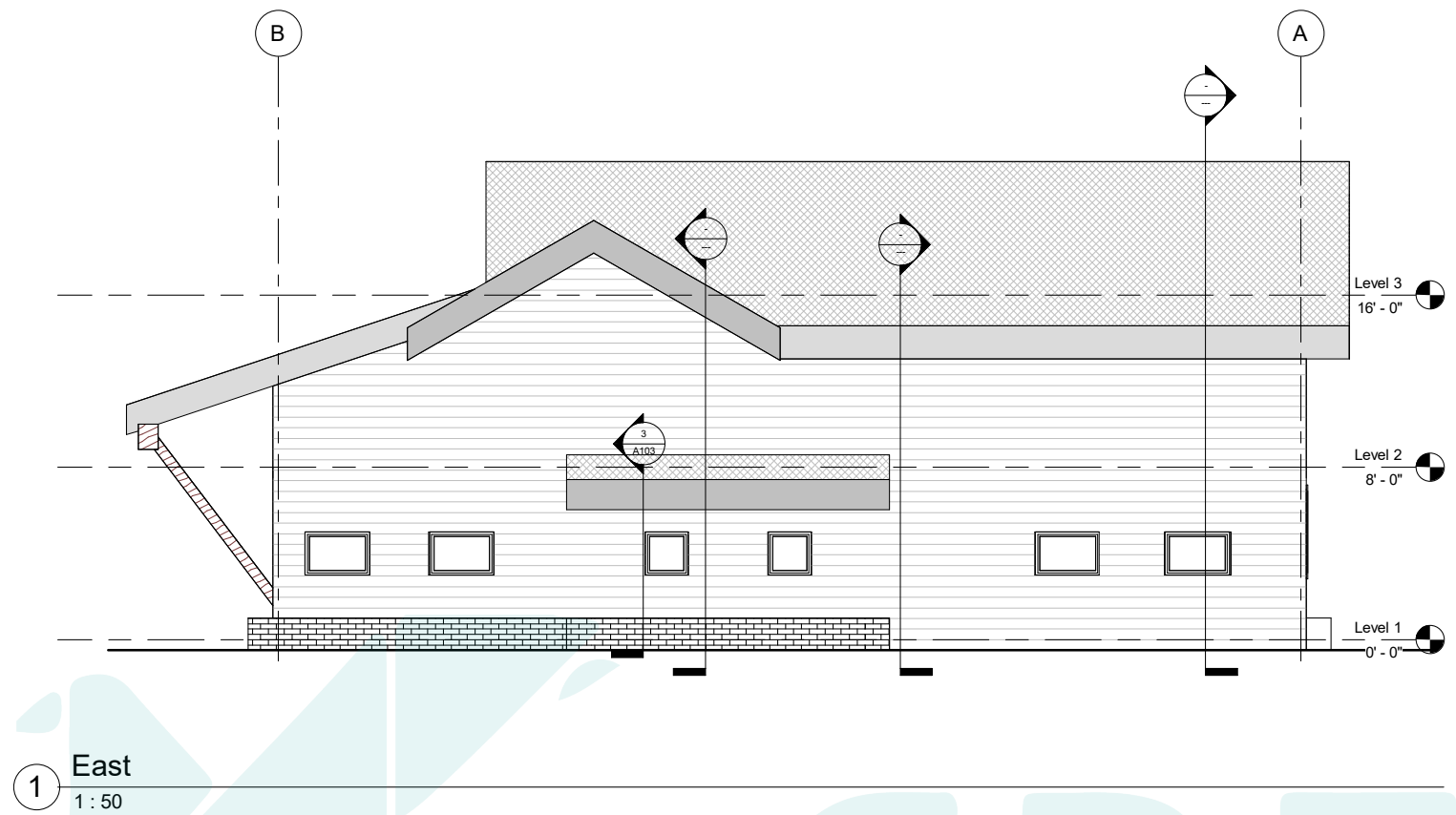
2 Site
1 : 50



1 Level 1
1 : 50

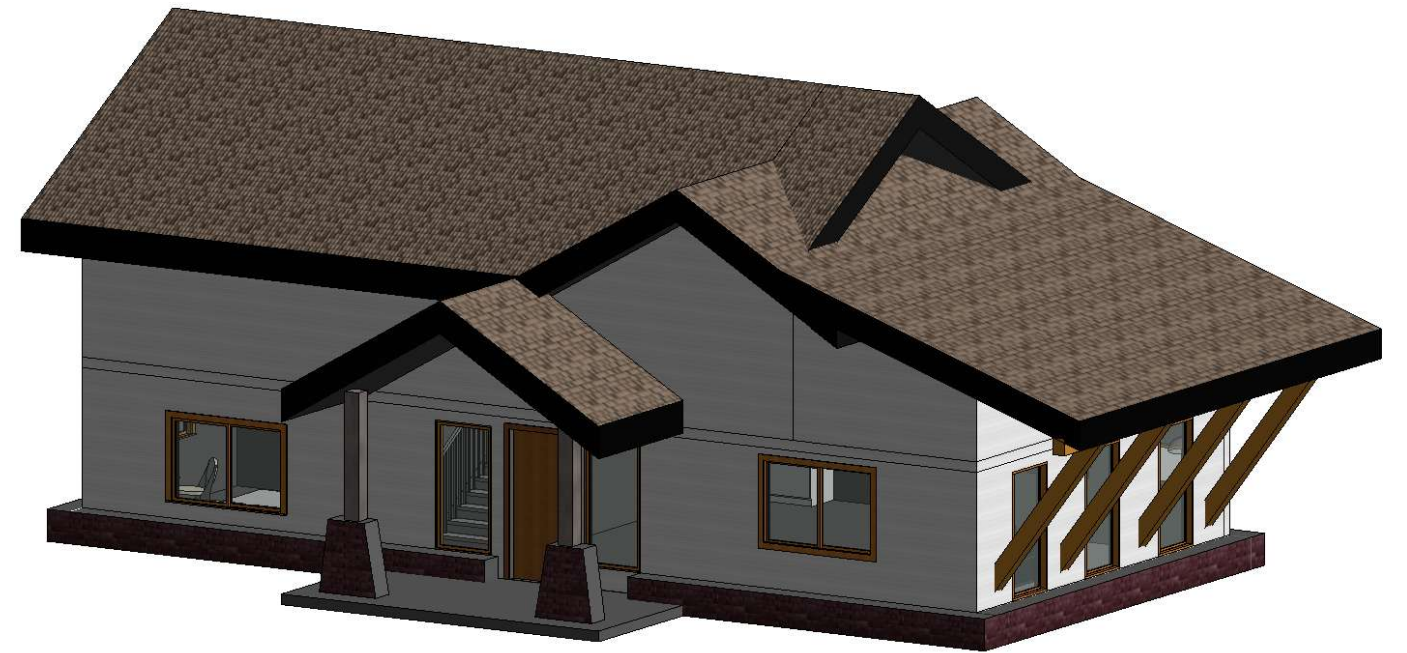


2 Site
1 : 50

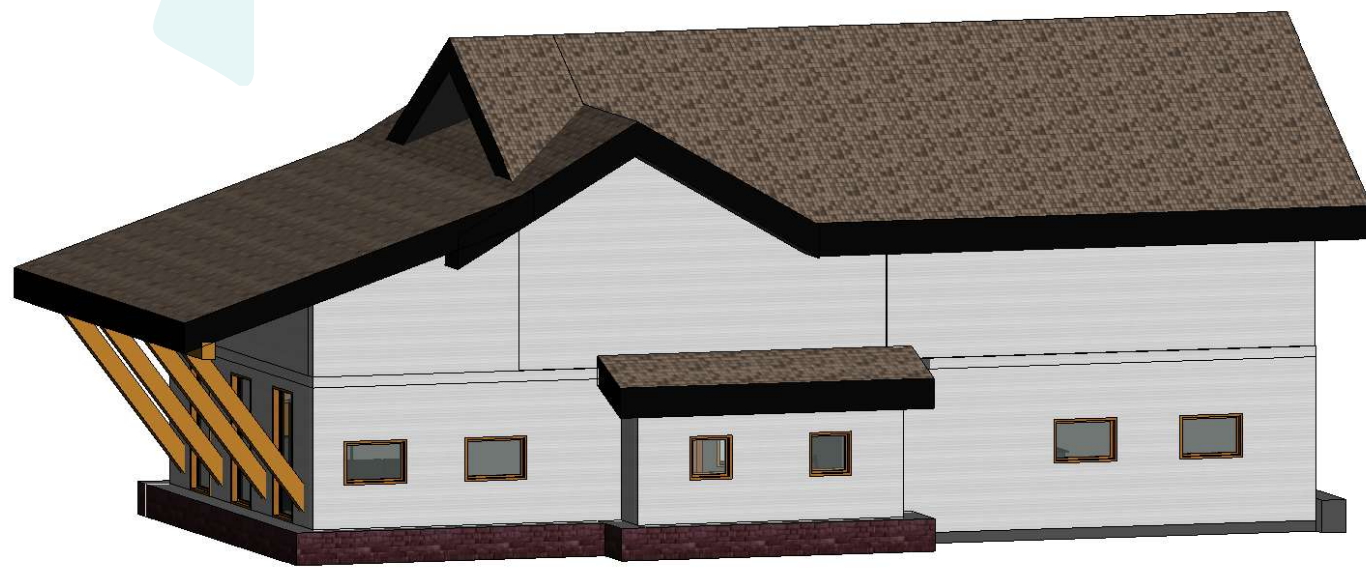




① 3D Ortho 1



② 3D Ortho 2

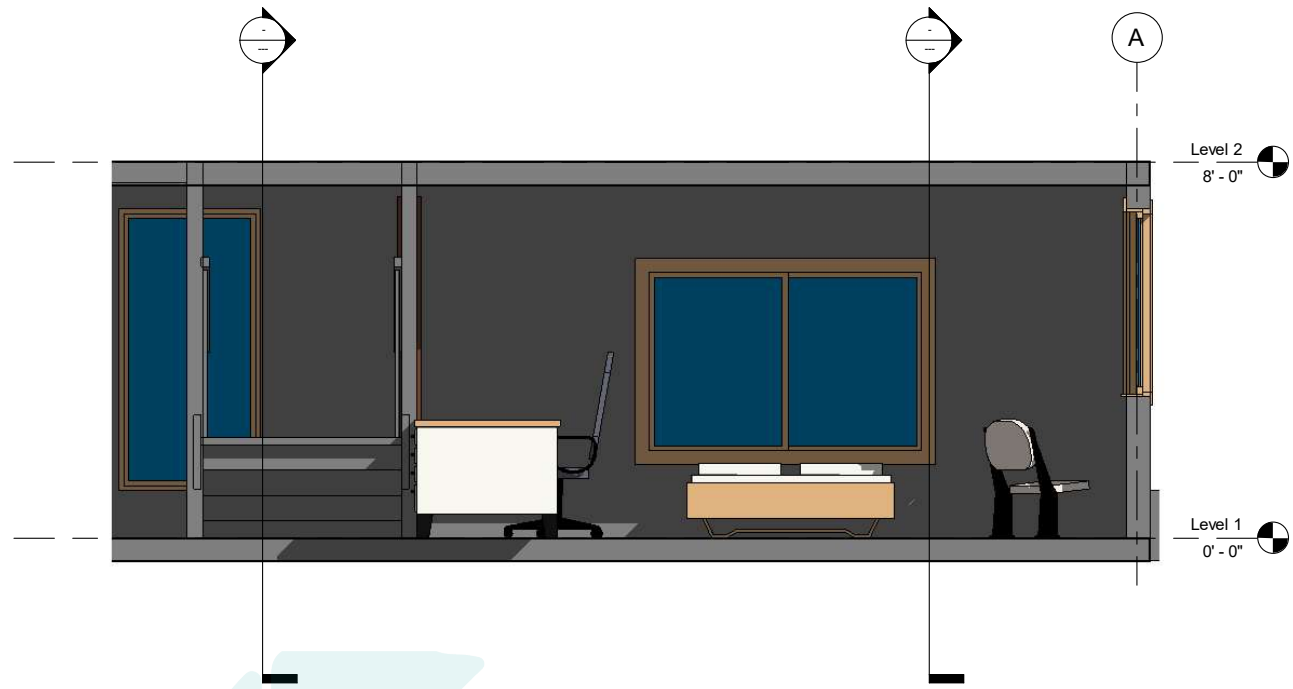


③ 3D Ortho 3

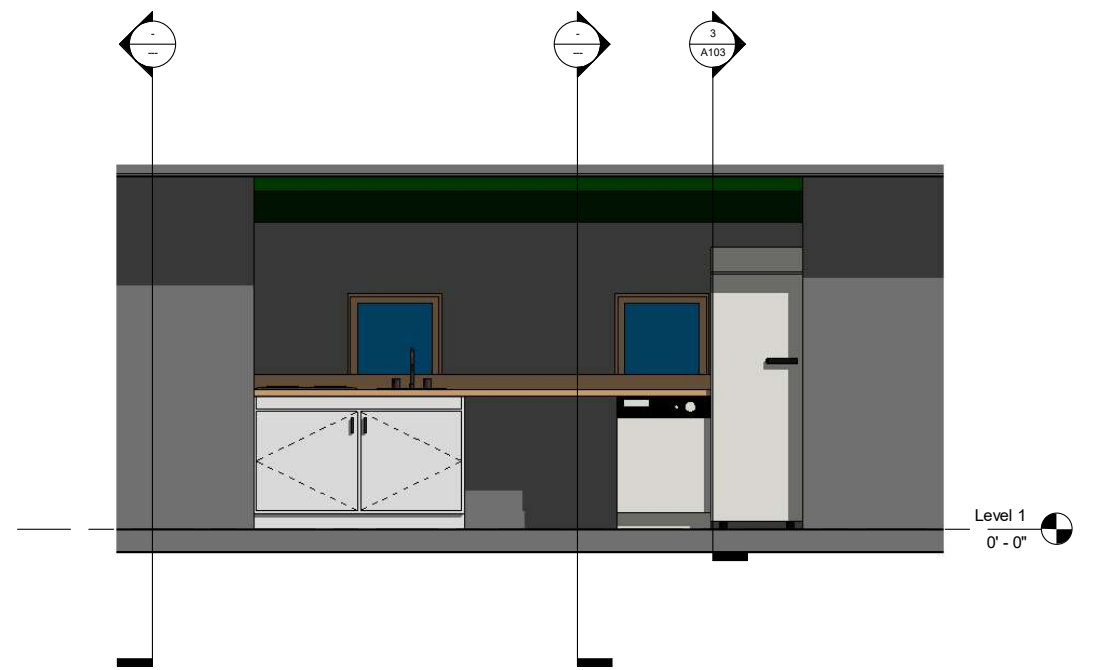


④ 3D Ortho 4

SP ECUWIN



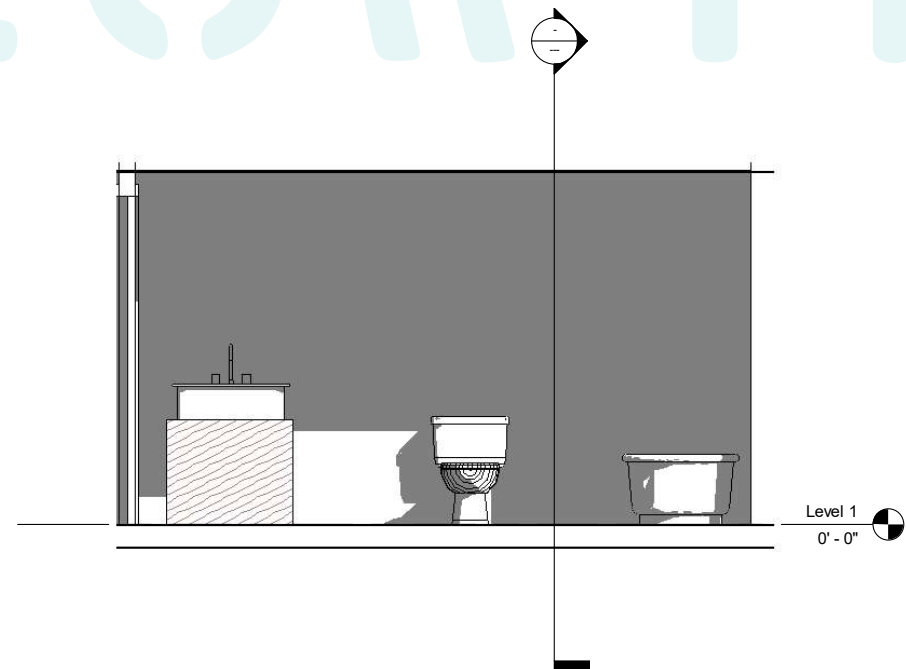
1 Bedroom
1:25



2 Kitchen
1:25



3 Living Room
1:25



4 Washroom
1:25

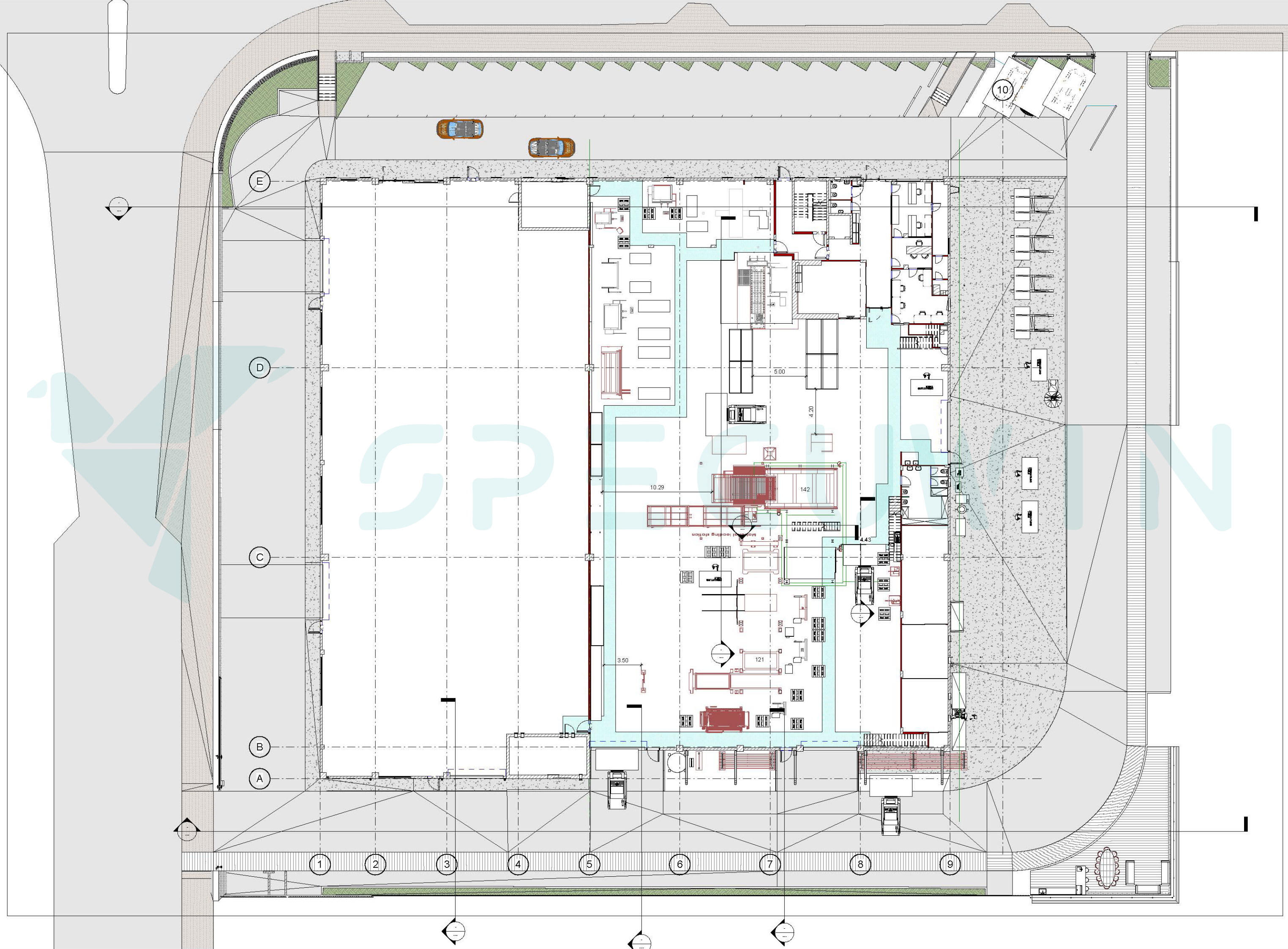
SPECULWIN

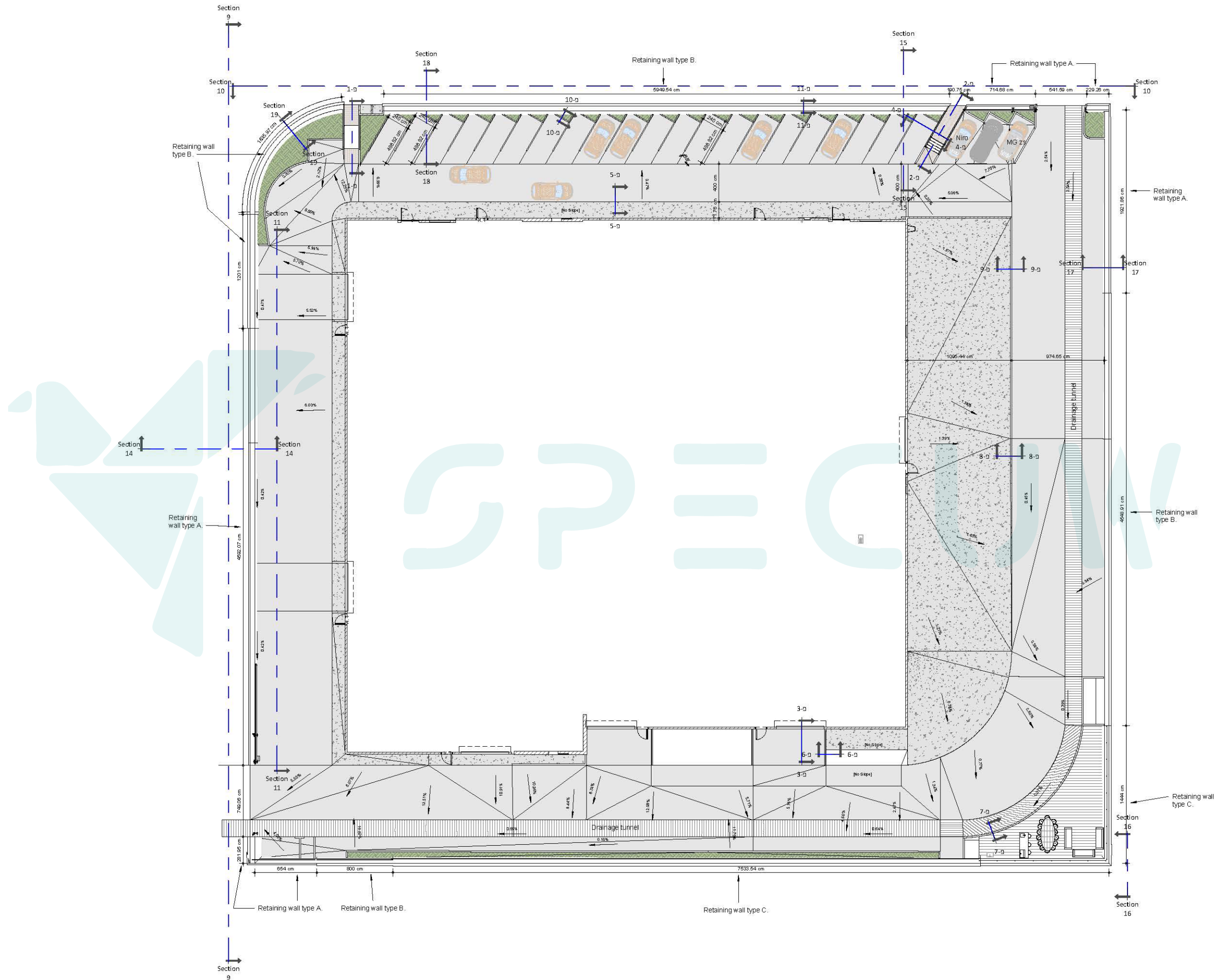
5

Project	- Commercial
Location	- Israel
Software	- Revit
Scope of Work	- 3D Modelling, Drafting and Project Management



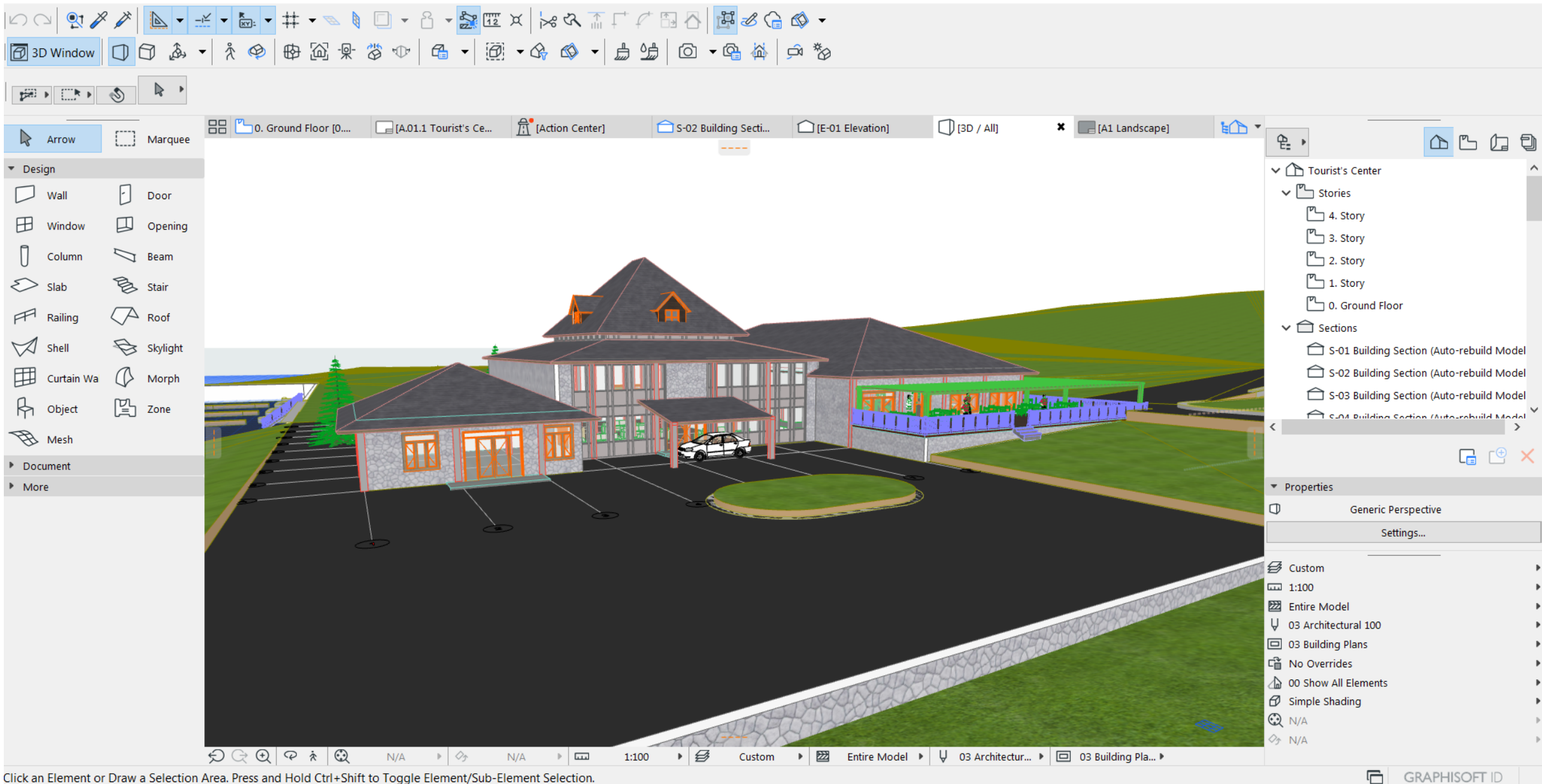
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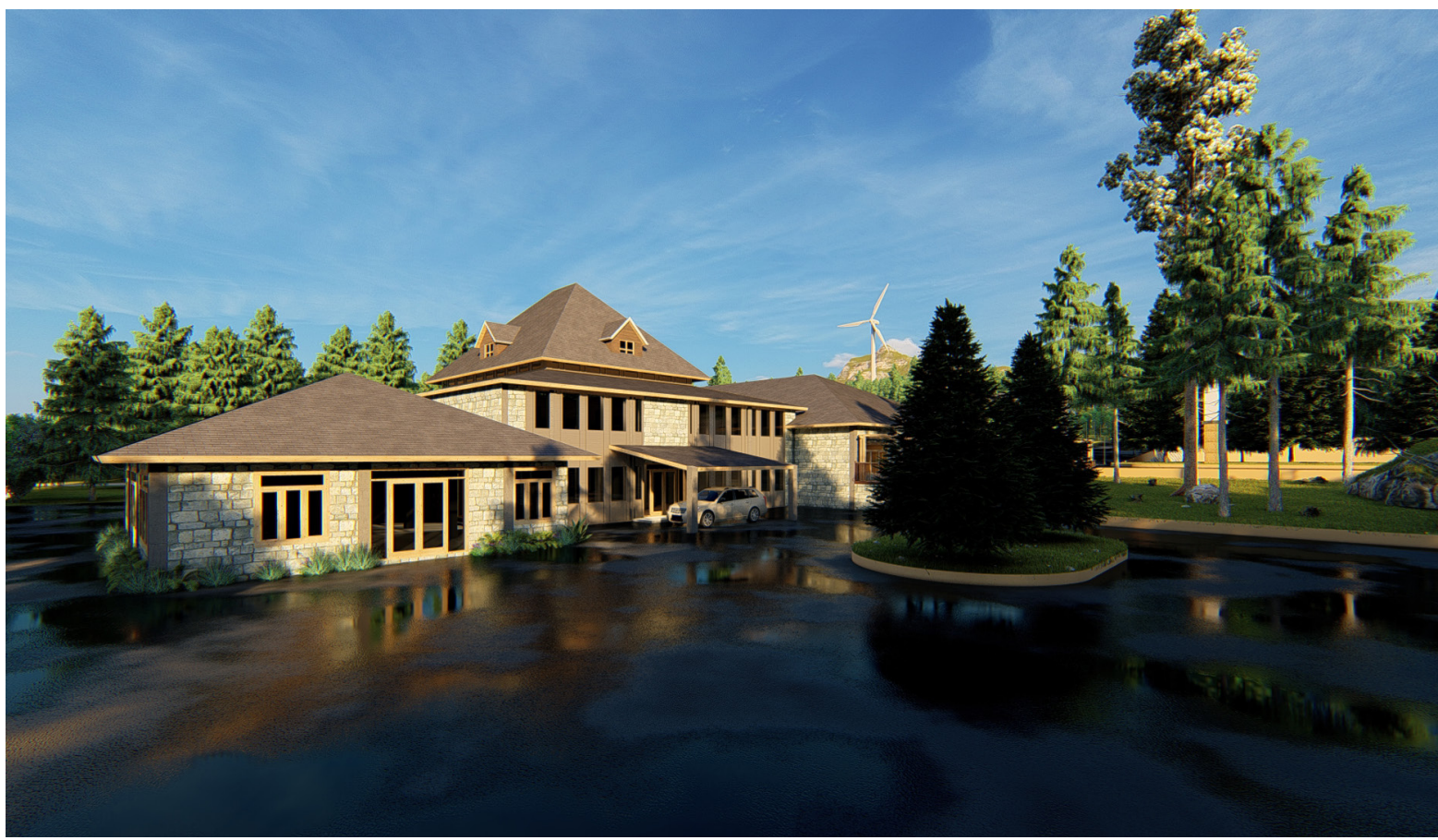
BIM MODELING

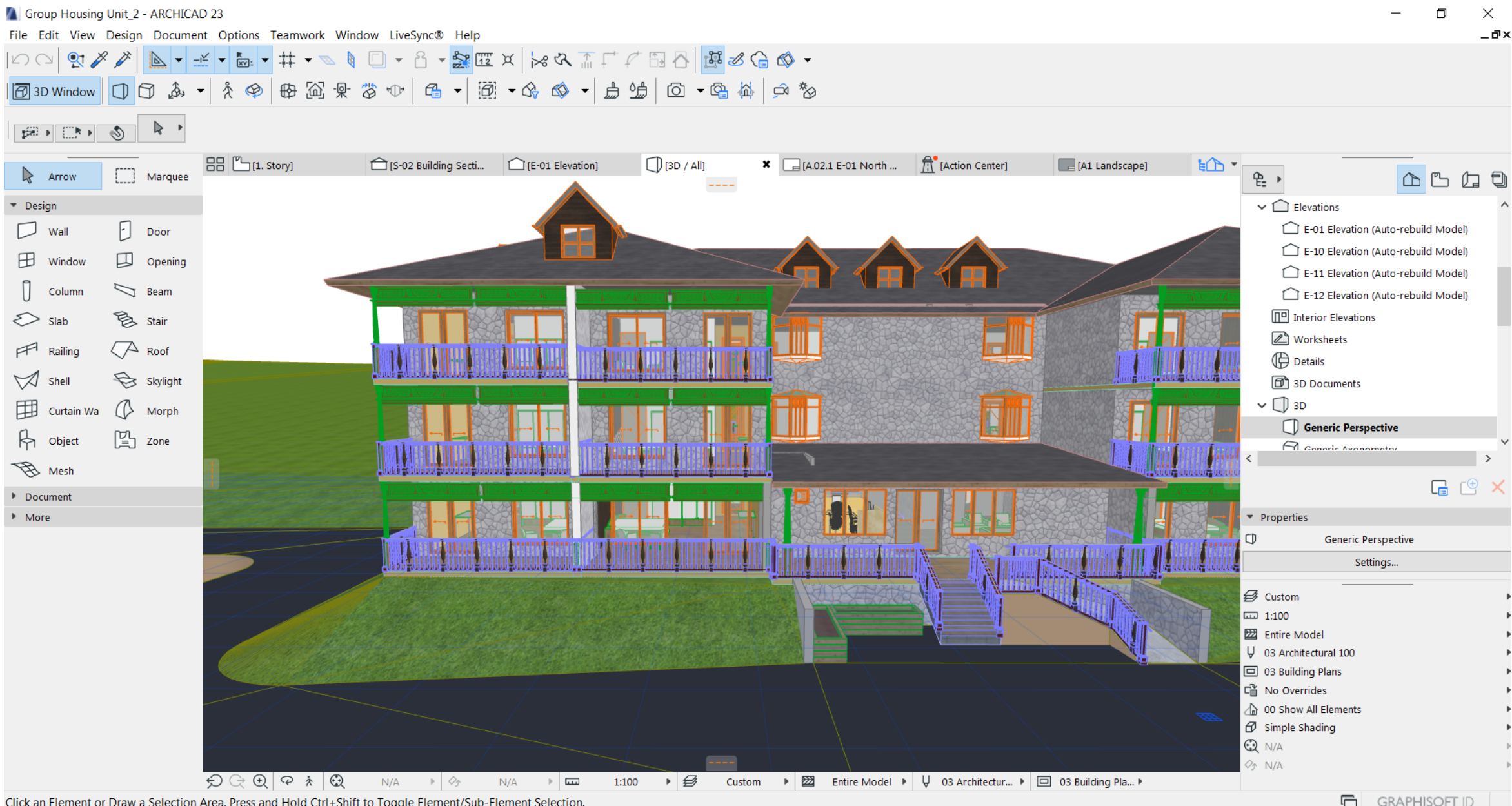


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Project - Tourist Information Center

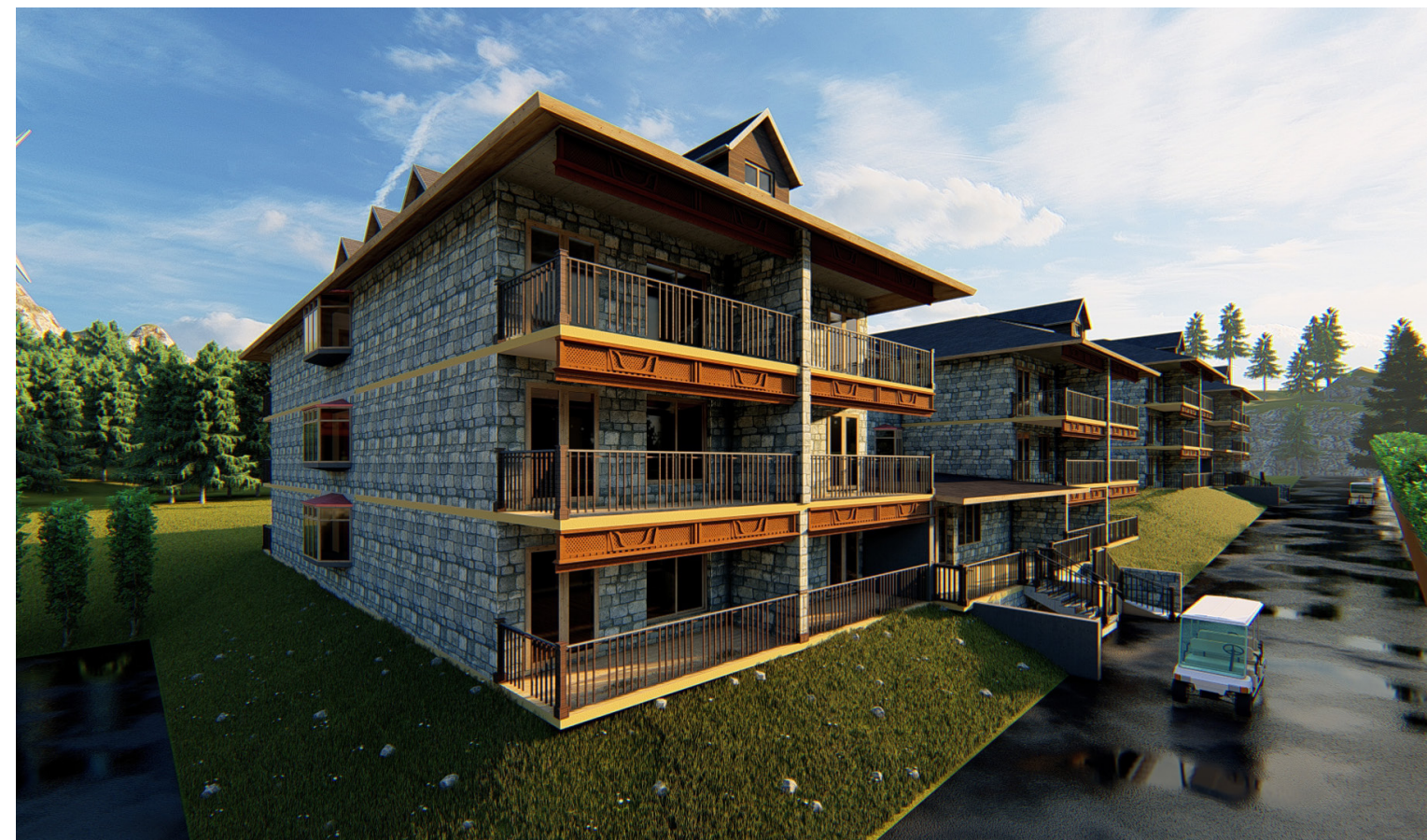
Location - Himachal Pradesh, India





Project - Tourist Information Center

Location - Himachal Pradesh, India





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